Asheboro Planning Board
Asheboro City Hall (146 N. Church Street)
Monday, March 7, 2022
7:00 PM
AGENDA

I. Call to Order

II. Approval of Minutes from February 7, 2022

III. Review of Cases

IV. New Business: Requests by Brian Thomas related to property located west of 2513 Old Cedar Falls Road (a portion of Randolph County Parcel Identification Number 7772117810)

a.) Case No. RZ-22-03: Request to rezone from R10 to RZ (CZ) for a Residential Planned Unit Development
b.) Case No. SUB-22-02: Request for a subdivision sketch design

V. Items not on the agenda

VI. Adjournment

# # # # # # # # #

MEETING OF THE ASHEBORO PLANNING BOARD
CITY COUNCIL CHAMBERS, 146 N. CHURCH ST.
MONDAY, FEBRUARY 7, 2022
7:00 p.m.

****

This being the time and place for the regular meeting of the Asheboro Planning Board, a meeting was held with the following officials and members present:

Michael O'Kelley	) – Vice Chair
Harold Anderson	)
Ritchie Buffkin	)
David Henderson	) - Members Present
Thomas Rush	)
Pamela Vuncannon	)
Van Rich, Chair	) – Members Absent

John Evans, Assistant Community Development Division Director
Bradley Morton, Planner/Deputy City Clerk
Trevor Nuttall, Community Development Division Director
Jeff Sugg, City Attorney

CALL TO ORDER

Mr. O'Kelley called the Asheboro Planning Board to order.

APPROVAL OF MINUTES FROM JANUARY 3, 2022

Mr. O'Kelley inquired if there were any corrections or additions to the minutes presented. Hearing no corrections or additions, the minutes were approved as presented.

REVIEW OF CASES

Mr. Evans went over the land use cases that the City Council heard at their January Regular Meeting.

ELECTION OF BOARD OFFICERS AND SECRETARY

Mr. O'Kelley who lives within the corporate limits of the City of Asheboro was nominated to serve as Chair. This nomination was made as a motion by Ms. Vuncannon and was seconded by Mr. Anderson. Mr. O'Kelley was then elected unanimously.

Ms. Vuncannon was nominated to serve as Vice-Chair. This nomination was made as a motion by Mr. Buffkin and was seconded by Mr. Henderson. Ms. Vuncannon was then elected unanimously.

Mr. O'Kelley, without objection from any board member, then appointed Mr. Bradley Morton to serve as Board Secretary.

NEW BUSINESS

RZ-22-02: REQUEST BY CITY OF ASHEBORO TO APPLY AIRPORT (A) ZONING TO CITY-OWNED ASHEBORO REGIONAL AIRPORT PROPERTY WITHIN THE CITY LIMITS, INCLUDING PROPERTIES LOCATED AT 2212, 2222, AND 2224 PILOTS VIEW ROAD MORE SEPCIFICALLY IDENTIFIED BY RANDOLPH COUNTY PARCEL IDENTIFICATION NUMBERS 7639323267, 7639531114, 7639334110, 7639478044, 7639570024, 7639573159, 7639550547, 7639412973 (PORTION), and 7639454641 (PORTION)

Mr. Evans gave a visual presentation of the above referenced request. He gave an overview of the case:

Applicant: City of Asheboro
Location: 2212, 2222, and 2224 Pilots View Drive
Request: Apply Airport (A) zoning to city-owned Asheboro Regional Airport property
Randolph County Parcel ID: 7639323267, 7639531114, 7639334110, 7639478044, 7639570024, 7639573159, 7639550547, 7639412973 (portion), and 7639454641 (portion)
Size: 199.4 acres +/-
Existing Land Use: Airport

He showed overview, rezoning, topographic/utilities and aerial maps along with photographs of the property from all directions. He indicated that notification to the adjoining property owners was mailed on Wednesday, January 26th. He indicated adjoining property owners would be notified again pior to the City Council meeting and that legal ads would be published. Also, a zoning sign will be posted on the property. He then gave staff's analysis:

1. The requested rezoning involves the Asheboro Regional Airport property located within the City limits.
2. Pilots View Road (SR 1197) is a state-maintained road.
3. The zoning ordinance was amended in 2019 to add an "Airport" zoning district.
4. If approved, review of development proposals within the Airport district would continue to be dictated by the Zoning Ordinance, which currently designates the Asheboro Airport Authority as the review entity.
5. Surrounding land uses include lower density single-family residential uses, undeveloped property, and properties that are also used by the airport which are located outside of the City limits and extraterritorial zoning jurisdiction (ETJ).
6. City Charter, Article XIV, Section 14.3 states that the Asheboro Airport Authority has the duty to "manage and control all of the property and operate the airport for the use and benefit of the public as a public airport and in the manner in which it will contribute greatest to the growth, expansion, welfare and prosperity of the city."
7. The NC Aviation Museum & Hall of Fame is also located on the airport property, and is included as part of this application.

He then gave LDP Recommendations:

Proposed Land Use Map: Employment Center
Small Area Plan: Outside of current small area plan boundary
Growth Strategy Map: Primary Growth

Goals/Policies Supporting Request (5):

- Checklist Item 1: Complies with LDP proposed land use map
- Checklist Item 5: Complies with Growth strategy map
- 1.4.1: Countywide and regional partnerships with tourism venues and organizations
- 2.1.1: Periodic review of zoning classifications and alignment of desired character and focus of each district.
- Goal 5.3: Interconnected and multi-modal transportation networks

Goals/Policies Not Supporting Request: N/A

He then explained how staff believes the request is consistent with adopted plans, reasonable and in the public interest:

- Complies with Employment Center and complementary uses, such as the Airport.
- Allows those with expertise concerning unique issues related to the airport to continue to review development proposals.
- Formalizes the review process that currently exists.

He stated that staff's recommendation is to approve RZ-22-02 and that the next steps will be for City Council to consider the rezoning request on Thursday, March 10, 2022. He then stated that he would answer any questions that the board has at this time.

Mr. Henderson inquired if there was planned expansion for the airport. Mr. Evans stated that there has been some discussion on a potential new terminal building as well as a possible corporate hangar, but that no specific timeline has been established. There were no further questions for Mr. Evans.

Mr. O'Kelley inquired if there was anyone to speak for or against this request.

Mr. Wayne Broome and Mr. Rudy Rich both expressed concerns with current and future growth of the airport and the NC Aviation Museum, but didn't express opposition to the request. Mr. Broome asked if the rezoning changes the possibility of this. Mr. Evans clarified that the proposed amendment only formalizes the existing process and that the Airport Authority will continue to review requests related to the airport.

Mr. Buffkin moved to recommend approval of RZ-22-02. Ms. Vuncannon seconded the motion and the motion carried unanimously.

ITEMS NOT ON THE AGENDA

Several Planning Board members expressed their gratitude and appreciation for Mr. Rich, having sat as Chair for many years, and are looking forward to continuing their service on the board with him. There were no further items.

ADJOURNMENT

With no further business to come before the board, Mr. O'Kelley adjourned the meeting.

_____ _____

Bradley Morton, Planning Board Secretary Michael O'Kelley, Planning Board Chair

Requests by Brian Thomas related to property located west of 2513 Old Cedar Falls Road (a portion of Randolph County Parcel Identification Number 7772117810)

a.) **Case No. RZ-21-03**: Request to rezone from R10 to RZ (CZ) for a Residential Planned Unit Development
b.) **Case No. SUB-22-02**: Request for a subdivision sketch design

Staff Report

Rezoning Staff Report

RZ Case # **RZ-22-03** **Date** 3/7/2022 Planning Board

General Information

Applicant Brian Thomas

Address 2513 Old Cedar Falls Road

City Asheboro NC 27203

Phone 727-243-0887

Location West of 2513 Old Cedar Falls Road

Requested Action Rezone from R10 Medium-Density Residential to R10 (CZ) Conditional Zoning for Residential Planned Unit Development

Existing Zone R10 **Existing Land Use** Undeveloped

Size 50.78 acres +/- **Pin #** 7772117810 (portion)

Applicant's Reasons as stated on application

The purpose of the CUP [Staff Note: This is a CZ request. Conditional Use Permits are no longer an option]. is to develop a 179 unit duplex project that is phased with associated driveways, parking and utilities. One single model will be constructed as a sales model. The project will comply with all land development code and the land development plan to promote growth and welfare. The approval of this project will provide needed housing, with the current shortage of adequate housing this project will provide homes for families in the City of Asheboro. The development will help meet the demands of much needed housing within the City of Asheboro.

Surrounding Land Use

North Low-Density Residential/Agricultural **East** Low-Density Residential/Agricultural

South Low-Density Residential/Agricultural **West** Low-Density Residential/Agricultural

Zoning History City zoning was first applied to the property in 2006 with a proposed RV Resort. Since that time, there have been two additonal proposals for an RV resort (2007 and 2011), and a banquet facility/residential PUD in 2013.

Legal Description

A portion of Randolph County Parcel Identification Number 77721178110, located west of 2513 Old Cedar Falls Road, totaling approximately 50.78 acres +/- of 106.13 acres +/-.

Analysis

1. The applicant is requesting a Conditional Zoning request for a Residential Planned Unit Development.
2. The property, and the adjacent tract to the west, was brought into the city as a satellite annexation in 2006 at the request of a prior owner.
3. Old Cedar Falls Road is a state-maintained minor thoroughfare.
4. The applicant's proposal for a 51 acre Planned Unit Development consists of 86 attached single-family structures and one detached structure (initially to serve as a model home) for a total of 173 dwelling units. In 2013, the same applicant presented a different PUD proposal via a rezoning and special use permit (SUP) with 160 dwelling units, which included an agricultural tourism use, on the entirety of the property. Council did approve that rezoning to R10 and the SUP; the SUP is now considered null and void due to its expiration but the R10 district remains in place.
5. Units are proposed to be single-story dwellings with a one-car garage and approximately 1,515 SF of heated living area.
6. The project proposes development with private streets with two entrances serving the development from Old Cedar Falls Road. The developer would also be extending city water and sewer mains to serve the project.
7. *The R10 Residential District is intended to provide regulations which will produce a moderate intensity of residential uses, usually single family or two family in character and served by central water supply and sewage disposal systems, plus the necessary governmental and other support facilities to service such urban intensity living.*
8. The overall net density of the development is approximately 4.2 units per acre (excluding street right-of-way per the city code). Historically, conventional subdivision density within the R10 district averages around 3.8 units per acre.
9. The conditional zoning process allows an applicant to propose a project-specific zoning district that establishes permitted uses, development conditions and site development requirements. The project-specific zoning district is allowed to diverge from the zoning ordinance's predetermined land use requirements.
10. A portion of the property is located within a Special Hazard Flood Area. However, no development is proposed within this area.
11. Staff is reviewing revisions to the site plan that were submitted on March 3, 2022, in response to city comments. An updated report, including where the project proposes to deviate from predetermined land use requirements,is expected to be issued upon receipt and review of that information and revisions.

Rezoning Staff Report

RZ Case # **RZ-22-03**

Consistency with the 2020 LDP Growth Strategy designations

In reviewing this request, careful consideration is given to each Goal and Policy as outlined in the Land Development Plan. Some Goals and Policies will either support or will not support the request, while others will be neutral or will not apply. Only those Goals and Policies that support or do not support the request will be shown.

Proposed Land Use Map Designation	Neighborhood Residential
Small Area Plan	East
Growth Strategy Map Designation	Primary Growth

LDP Goals/Policies Which Support Request

Checklist Item 1: Complies with LDP proposed land use map

Checklist Item #5: The proposed rezoning is compliant with the objectives of the Growth Strategy Map.

Checklist Item # 7: The proposed rezoning is compatible with the East Small Area Plan.

Checklist Item #12: Property is located outside of the watershed area.

Rezoning Staff Report

RZ Case # **RZ-22-03**

LDP Goals/Policies Which Do Not Support Request

Checklist Item 10: Rezoning is not consistent with Land Category Descriptions

Checklist Items 13-14: 13.) The property is located within Special Hazard Flood Area. 14.) Rezoning is located on steep slopes of greater than 20%.

Staff's Final Analysis Concerning Consistency with Adopted Comprehensive Plans, Reasonableness and Public Interest

Since the 2013 PUD approval, additional non-residential development has occurred within the East Small Areal Plan boundaries and late last year Toyota announced plans to build a large manufacturing facility near Liberty approximately 12 miles northeast of the subject property. Such growth likely will necessitate new housing opportunities and the city's Land Development Plan (LDP) advocates for different housing types, including townhome development, as part of the housing inventory.

The LDP's Neighborhood Residential Future Land Use Designation generally is supportive of PUD development at around 4 units per acre when adequate street connectivity and elements encouraged by the Plan, such as pedestrian amenities, project landscaping, recreation area, and open space are incorporated into project design.

Staff continues to work with the applicant on project details to make it more consistent with the city's pre-determined land use requirements and LDP objectives. An updated report will be presented at the March 7 Planning Board meeting.

Recommendation Due to submittal of revised plans on March 3, 2022, staff continues to review these plans and additional information and a final recommendation is pending.

Rezoning Staff Report

Suggested Conditions for Conditional Zoning applications (subject to change prior to final report)

(A) The use approved shall be a Residential Planned Unit Development.
(B) All parties involved in this request, including the owner, successors, heirs, and assigns, agree to the conditions and approved site plan.
(C) Prior to the issuance of a Certificate of Zoning Compliance for the residential planned unit development, all required amenities in Phase One, as shown on the approved site plan, shall be built. This requirement pertains to, but is not limited to, the playground/picnic area, and areas for small and large dogs shown on the site plan. Such areas shall be properly graded, stabilized, and seeded for the purpose so indicated.
(D) Prior to the issuance of a Certificate of Zoning Compliance for Phase One, homeowners' association documents, which contain provisions consistent with this order, shall be recorded in the office of the Randolph County Register of Deeds. Such homeowners' documents shall include, but not be limited to, maintenance responsibilities of the association (including specifying maintenance responsibilities for all residential structures and the agricultural tourism facility use within the common area) and a prohibition of on-street parking within the development.
(E) The proposed gravity sewer line along and across Old Cedar Falls Road, which is proposed for eventual maintenance by the City of Asheboro, must be constructed to City of Asheboro standards and specifications and receive the appropriate approvals from the NCDOT and NCDEQ. A manhole or cleanout shall be provided on the property line of the Zoning Lot at the street right-of-way to separate the maintenance responsibilities of the City of Asheboro from the perpetual maintenance obligations of the property owner and any successors in interest. The sanitary sewer infrastructure within the Zoning Lot, which includes all of the low-pressure sewer facilities, is not publicly owned and/or maintained and shall be maintained by the property owner and successors in interest.
(F) Due to the fact that the water line to be constructed along Old Cedar Falls Road, as well as the master water meter for the residential planned unit development area are proposed for eventual ownership and maintenance by the City of Asheboro, this infrastructure must be constructed to City of Asheboro standards and specifications, and receive the appropriate approvals from the NCDOT and NCDEQ. Maintenance easements for the water meter must be granted to the City of Asheboro.
(G) An engineering study of storm water runoff shall be made of the Zoning Lot. If this study indicates that post development runoff will exceed predevelopment conditions, plans for runoff control shall be designed and certified by a professional engineer. Such controls shall be designed to reduce the runoff during the occurrence of a 10-year storm to predevelopment volumes and rates. Prior to the issuance of a certificate of occupancy, a professional engineer shall provide certification that the storm water controls were built according to the plans. Any open water retention or drainage areas shall be sprayed regularly for mosquito control. The continued maintenance of all runoff control measures shall be the responsibility of the property owner and any successors in interest.
(H) Maintenance of all water lines and fire hydrants shown on the approved site plan shall be the responsibility of the property owner and any successors in interest. Fire hydrants must be maintained as required by the manufacturer's recommendations for the brand of hydrant installed.
(I) Maintenance of all recreation areas, parking lots, roads, and drainage facilities that are not specifically labeled on the approved site plan as publicly owned and maintained shall be the responsibility of the property owner and any successors in interest.
(J) The site plan indicates that trash collection will be from mobile toters. Collection must be done by a private entity. The City of Asheboro will not pick up solid waste within the development.
(K) Prior to the issuance of a Zoning Compliance Permit for the proposed land use, the applicant shall submit documentation detailing the following approvals:
(i) Driveway permit from NCDOT
(ii) Erosion control approval from NC Department of Environmental Quality
(L) Pursuant to Section 4.05 (C)(18) of the zoning ordinance, action to obtain a Zoning Compliance Permit shall have commenced for the proposed land use within thirty six (36) months of the City Council's approval of this Conditional Zoning for the Zoning Lot.
(M) Prior to the issuance of a Zoning Compliance Permit for the proposed land use, the owner(s) of the Zoning Lot shall properly execute, and deliver to the Zoning Administrator for recordation in the office of the Randolph County Register of Deeds a Memorandum of Land Use Restrictions prepared by the City Attorney for the purpose of placing notice of the conditions attached to this Conditional Zoning in the chain of title for the Zoning Lot.
<u>These are draft conditions proposed by staff as of March 4, 2022. Suggested conditions may be modified depending on updated information that is presented by the applicant.</u>

PRELIMINARY

CIVIL SITE DEVELOPMENT PLANS

FOR

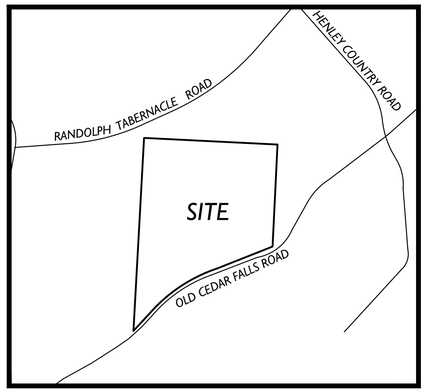
THOMAS ESTATES

2513 OLD CEDAR FALLS ROAD

RANDOLPH COUNTY - ASHEBORO - NORTH CAROLINA

PROJECT NO.: E-7794

FEB. 2022



VICINITY MAP
N.T.S.

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER H. MACK SUMMEY, JR.

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C-2	EXISTING CONDITIONS AND DEMO
C-3	MASTER SKETCH PLAN
C-4	CONCEPTUAL LIGHTING AND LANDSCAPE PLAN
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C-6	OFF SITE UTILITIES
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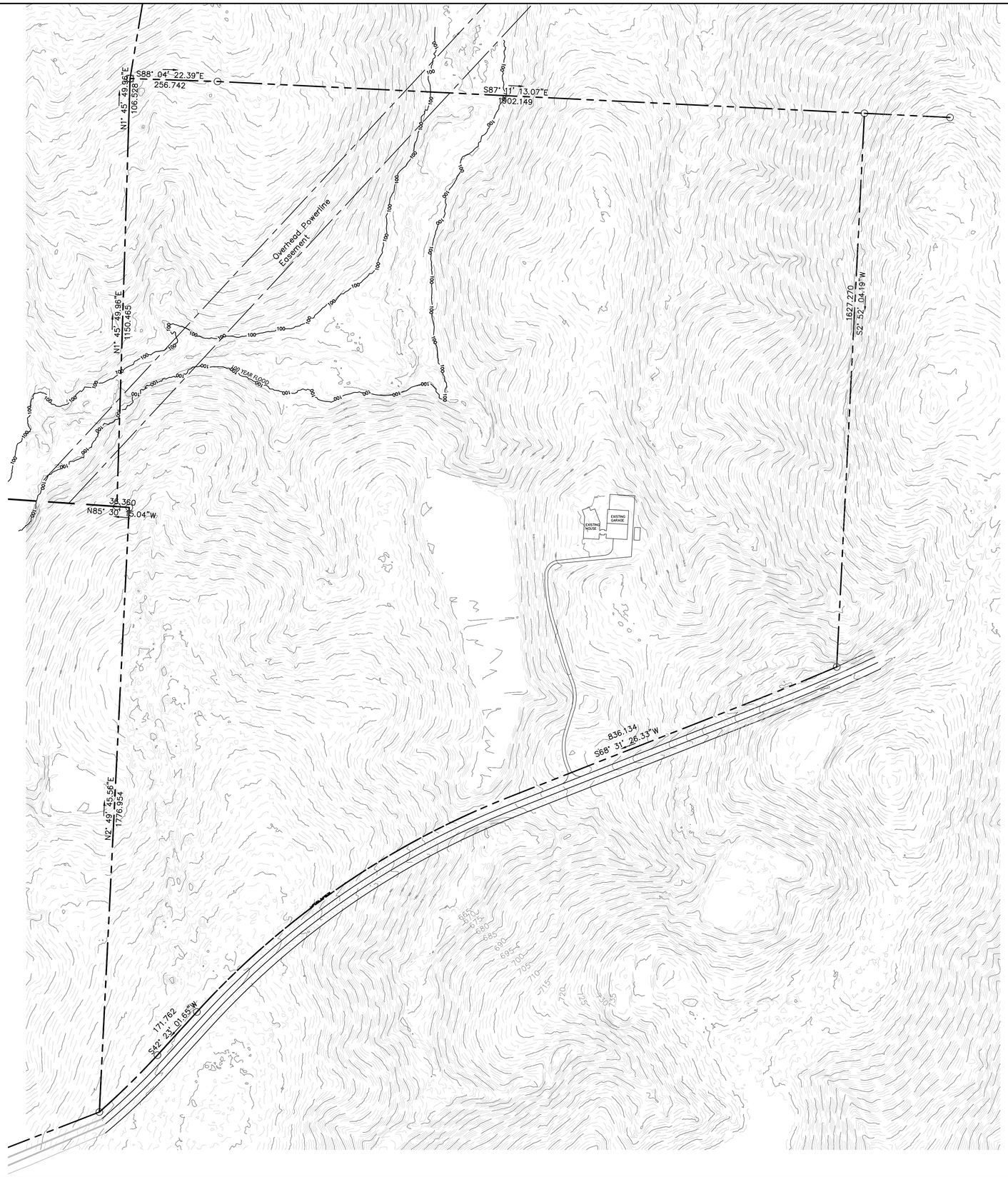

DRAWING LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- 100 YR FLOOD PLANE
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EXISTING STORM PIPE
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER MAIN (TYP.)
- EXISTING FIRE HYDRANT
- OVERHEAD ELECTRIC
- LIMITS OF CONSTRUCTION
- EXISTING TREELINE
- PROPOSED TREELINE
- DEMO TREELINE

0' 150' 300' 450'
DRAWING SCALE

NAD 83
GRID NORTH

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER H. MACK SUMMEY, JR.

SEA

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NC Professional Engineering Firm License No. F-0336

No.	Date:	Description:	By:

EXISTING CONDITIONS AND DEMO

THOMAS ESTATES

2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB. 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-7794

Sheet No. C-2

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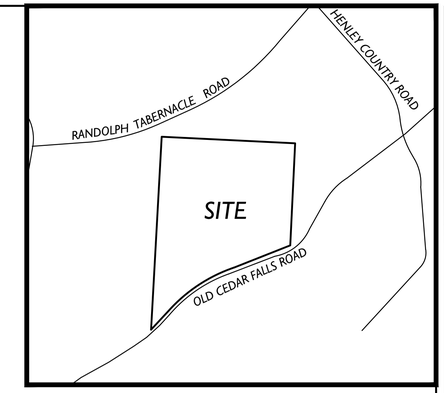

VICINITY MAP
N.T.S.

SITE NOTES:

1. PROPERTY INFORMATION
   TOTAL OVERALL ACREAGE = 106.79 ACRES (TO BE LEFT IN R10 ZONING)
   AND NOT TO BE INCLUDED IN THE CONDITIONAL ZONING REQUEST.
   TOTAL ACREAGE TO BE DEVELOPED = 50.78 ACRES

OWNERS: PHYLLIS E. THOMAS
PIN NUMBERS: 7772117810
EXISTING ZONING: R10
EXISTING LAND USE: VACANT
REQUESTED ZONING: R10 (CZ)
SITE ADDRESS: 2513 OLD CEDAR FALLS ROAD ASHEBORO, NC
OWNER ADDRESSES: 2965 UPPER RIDGE ROAD PENNSBURG, PA.

2. THE PROJECT IS LOCATED WITHIN THE CITY OF ASHEBORO.

3. PARCEL BOUNDARIES, TOPOGRAPHIC DATA, EASEMENTS, EXISTING WATER METER AND SANITARY SEWER ARE SHOWN PER FIELD SURVEY PERFORMED BY SURVEY CAROLINA, PLS

4. PROPOSED USE: RESIDENTIAL PLANNED UNIT DEVELOPMENT

5. PARKING REQUIRED: 2 SPACES PER UNIT
   93 DUPLEX UNITS INCLUDES MODEL UNIT
   REQUIRED: 186 SPACES
   PROVIDED: 186 SPACES = 2 PER UNIT
   PLUS 19 GUEST PARKING SPACES = 205 TOTAL SPACES
6. SUBDIVISION LOT BUILDING SETBACKS:
   FRONT= 30 FT
   SIDE= 25 FT
   REAR= 10 FT

DISTURBED AREA: 1102541.78 Sq. Ft. = 25.31 ACRES

7. HANDICAP SPACES SHALL BE INSTALLED PER ADA REQUIREMENTS.

8. MAXIMUM SEPARATION BETWEEN SANITARY SEWER CLEANOUTS SHALL BE 50'.

9. OBTAIN ALL APPLICABLE PERMIT APPROVALS PRIOR TO ANY CONSTRUCTION.

10. CONFIRM UTILITY TIE INS WITH ARCHITECTURAL DESIGN PRIOR TO CONSTRUCTION.

11. WATER AND SEWER UTILITY TIE IN LOCATIONS ARE SHOWN ON THIS PLAN FOR REFERENCE ONLY.
12. TRASH COLLECTION SHALL BE ACHIEVED WITH MOBIL TOTERS

13. RVs, TRAVEL TRAILERS, AND BOAT STORAGE WILL NOT BE PERMITTED.

14. PERMITTED DU: LAND AREA MINUS AREA IN R/W = 1933803 Sq. Ft. = 44.394 AC.
    DIVIDED BY 10,000 Sq. Ft. = 193.38 UNITS ALLOWED
    PROVIDED = 185 INDIVIDUAL UNITS INCLUDING MODEL

15. REQUIRED OPEN SPACE = 50.78 ACRES X 52% = 26.40 ACRES

16. REQUIRED RECREATION AREA = 50.78 ACRES X 1.72% =0.873 ACRES

DRAWING LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EXISTING TREELINE
- PROPOSED TREELINE
- SETBACK LINES
- EXISTING SANITARY SEWER MANHOLE
- SS — EXISTING SANITARY SEWER LINE
- FM — PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- W — EXISTING WATER LINE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- W — PROPOSED WATER LINE
- 100YR — 100 YEAR FLOOD PLAIN
- ST — EXISTING STORM PIPE

0' 150' 300' 450'
DRAWING SCALE

GRID NORTH

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SEA

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No.	Date:	Description:	By:

MASTER SKETCH PLAN
THOMAS ESTATES
2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB. 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-7794

Sheet No. C-3

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VICINITY MAP
N.T.S.

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SEA

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NC Professional Engineering Firm License No. F-0336

By:	Description:	No.	Date:

CONCEPTIAL LIGHTING AND LANDSCAPING PLAN

THOMAS ESTATES

2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB., 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-779A

Sheet No. C-4

811 Know what's below. Call before you dig.

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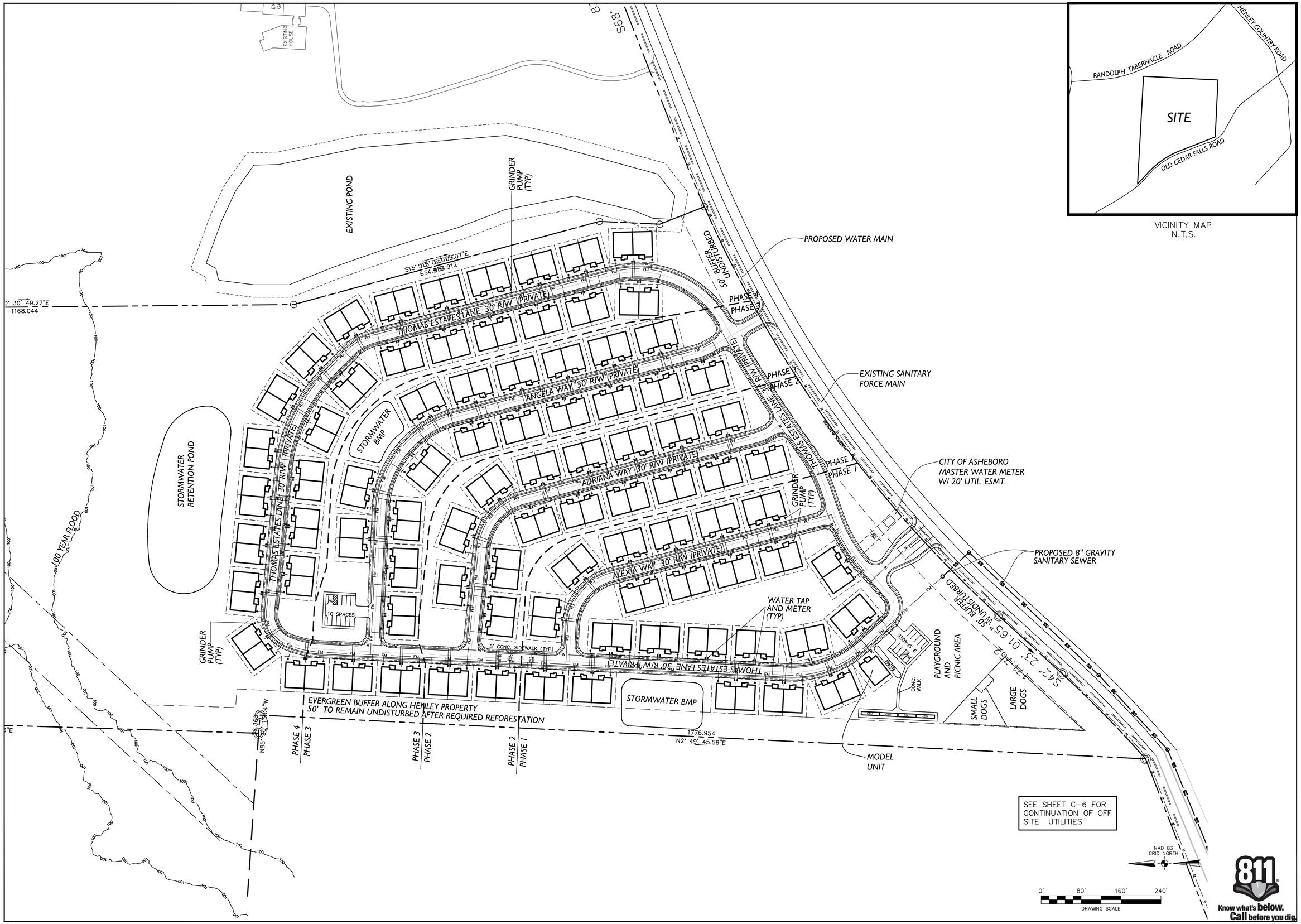

VICINITY MAP
N.T.S.

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER HACK SUMMEY, JR.

SEA

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Email - info@summeyengineering.com
NC Professional Engineering Firm License No. F-0336

No.	Date:	Description:	By:

WATER AND SANITARY SEWER PLAN

THOMAS ESTATES

2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB., 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-779A

Sheet No. C-5

811 Know what's below. Call before you dig.

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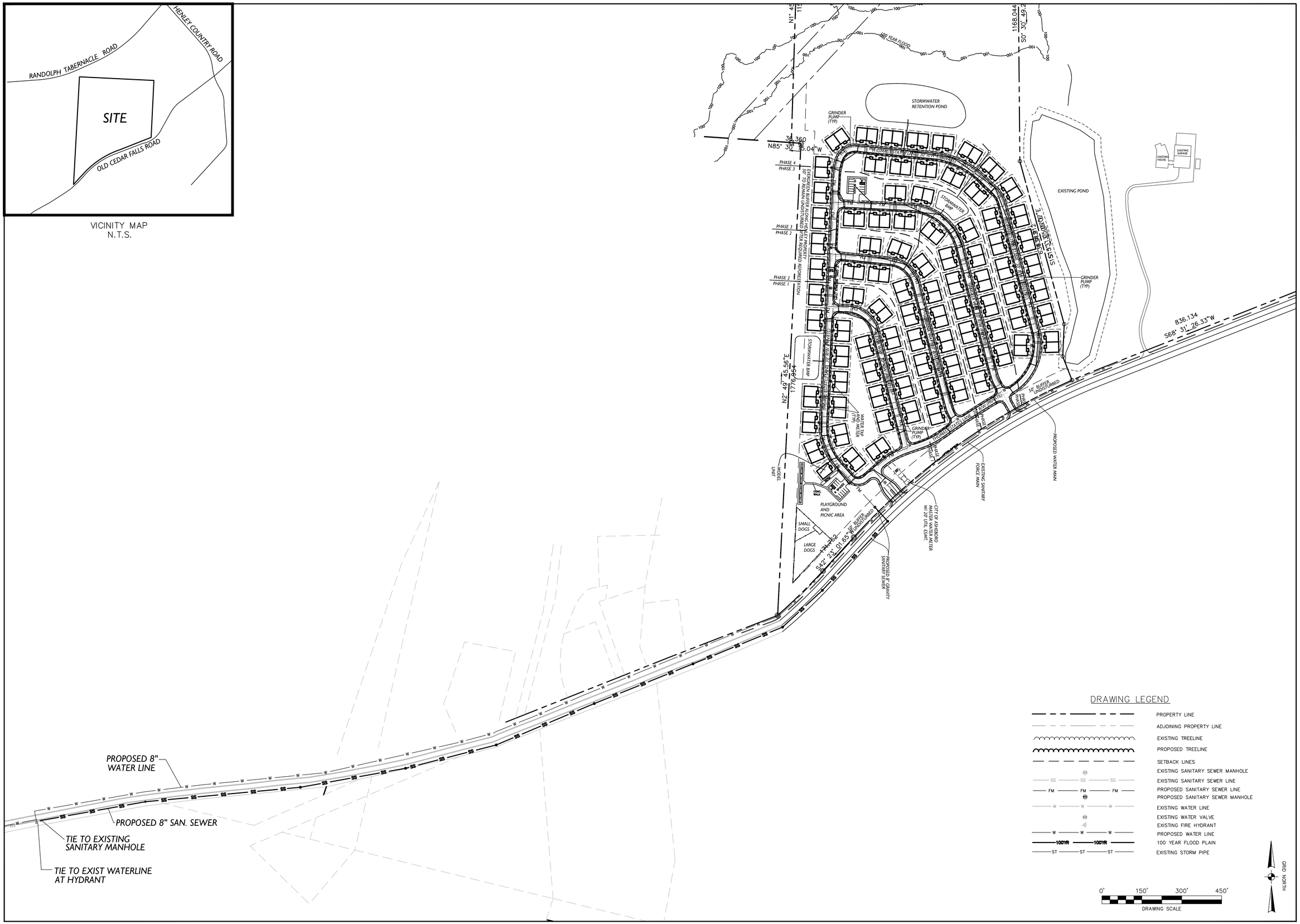
VICINITY MAP
N.T.S.



NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER H. MACK SUMMEY, JR.

SEA

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E-mail - info@summeyengineering.com
NC Professional Engineering Firm License No. F-0336

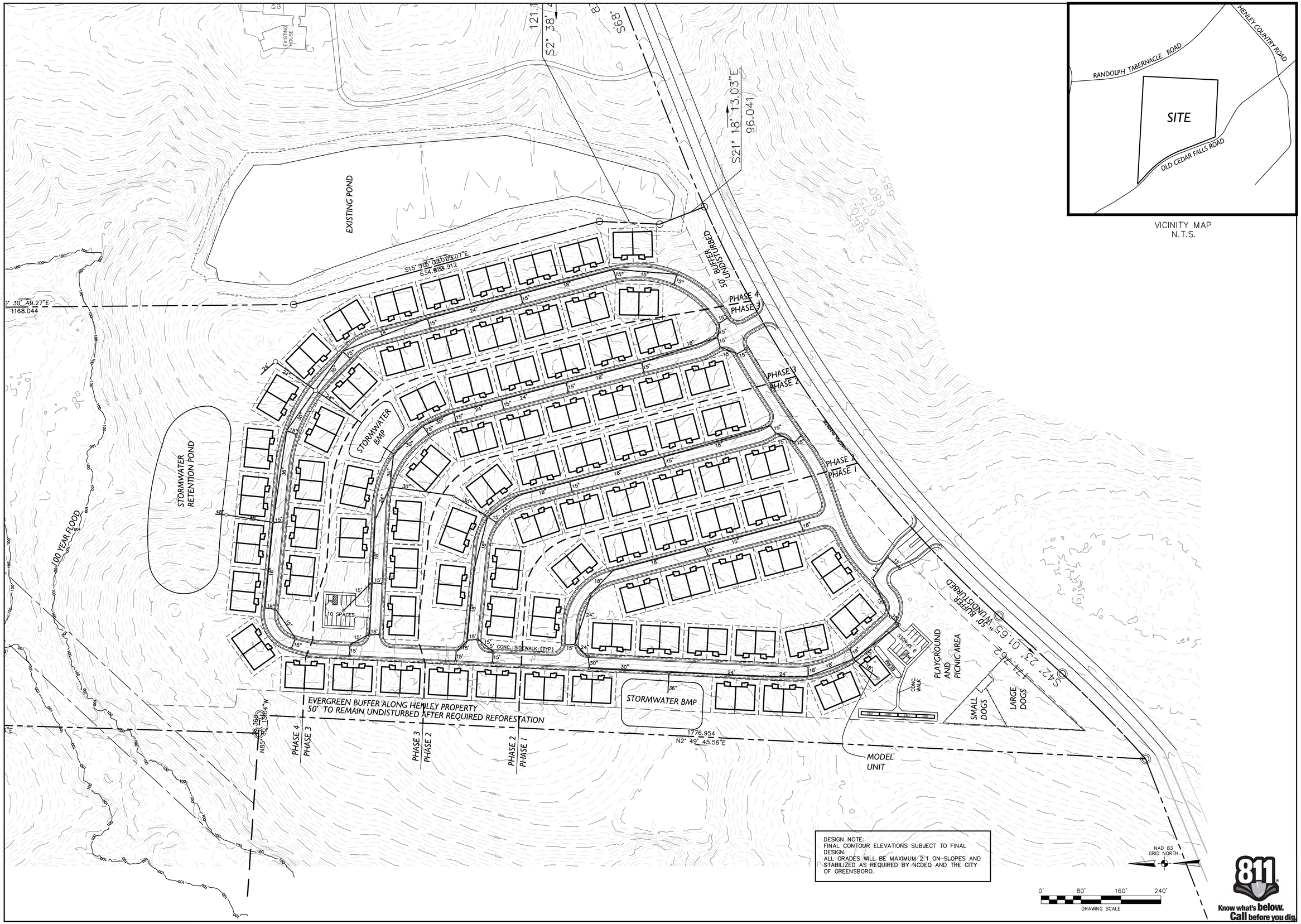
No.	Date:	Description:	By:

OFF SITE UTILITIES
THOMAS ESTATES
2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB. 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-7794

Sheet No. C-6

P:\E-7794 Brian Thomas - Deer Farm Property - Duplex Development - 2513 Old Cedar Farm Rd, Asheboro, NC\DWG\Civil Site\E-7794 BASE 02-08-22.dwg,
3/3/2022 1:22:04 PM, DWG To PDF.pc3



VICINITY MAP
N.T.S.

DESIGN NOTE:
FINAL CONTOUR ELEVATIONS SUBJECT TO FINAL DESIGN.
ALL GRADES WILL BE MAXIMUM 2:1 ON SLOPES AND STABILIZED AS REQUIRED BY NCDEQ AND THE CITY OF GREENSBORO.

811 Know what's below. Call before you dig.

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER H. MACK SUMMEY, JR.

SEA

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No.	Date:	Description:	By:

STORM SEWER PLAN
THOMAS ESTATES
2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB., 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-779A
Sheet No.	C-7

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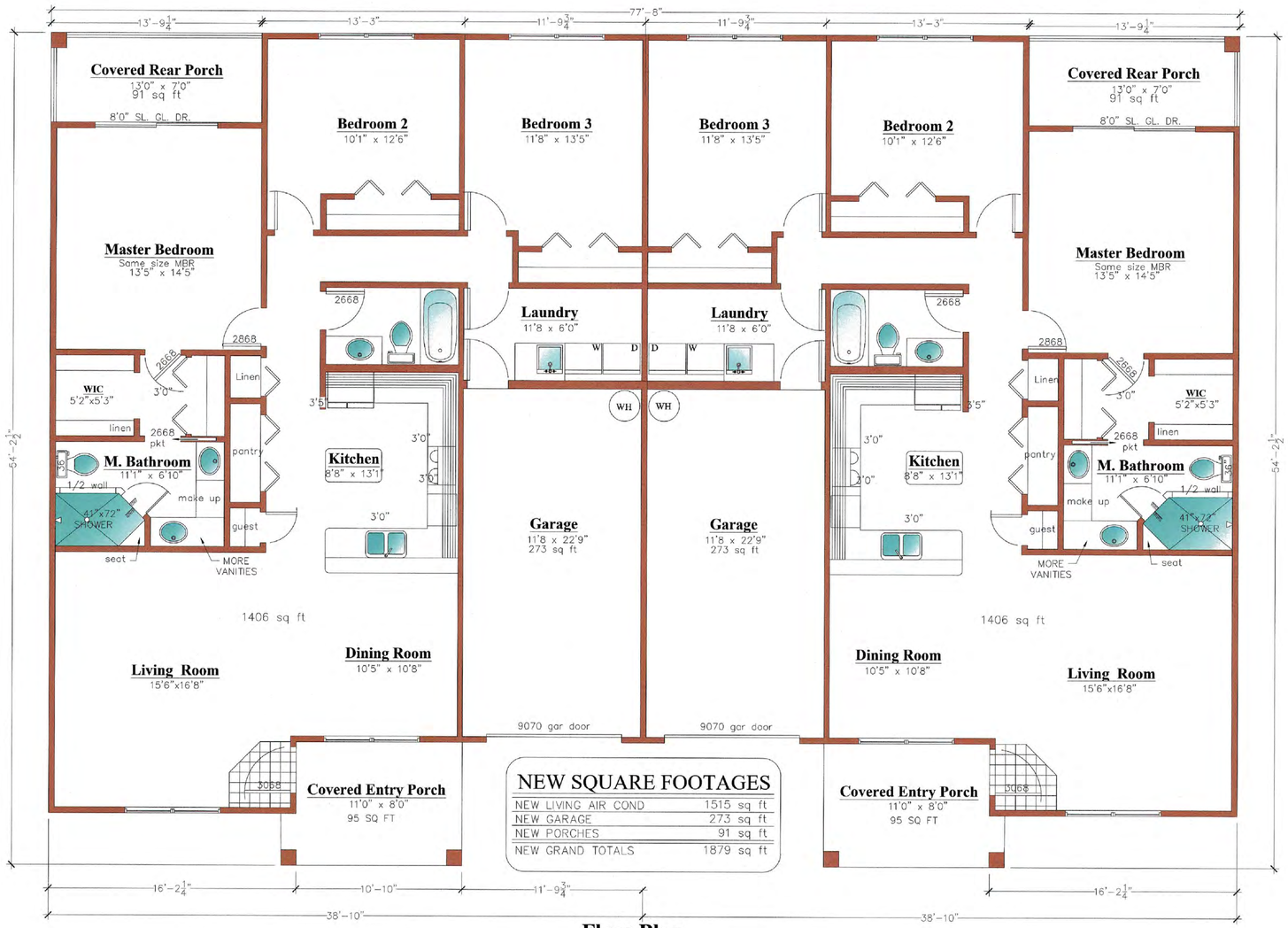

NEW SQUARE FOOTAGES	
NEW LIVING AIR COND	1515 sq ft
NEW GARAGE	273 sq ft
NEW PORCHES	91 sq ft
NEW GRAND TOTALS	1879 sq ft

Floor Plan

Front Elevation

DESIGN NOTE:
FRONT ELEVATION IS SUBJECT TO CHANGE.

Know what's below. Call before you dig.

No.	Date:	Description:	By:

FRONT ELEVATION AND FLOOR PLAN

THOMAS ESTATES

2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
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Sheet No. C-8

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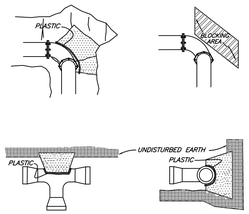


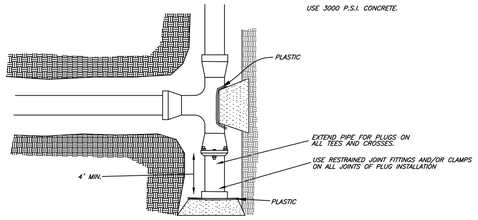
CONCRETE THRUST BLOCKING SCHEDULE								
Fitting Size	Min. Blocking Area (ft.²)				Min. Concrete Req'd. (yd³)			
	Tee	90°	45°	22½° 11¼°	Tee	90°	45°	22½° 11¼°
4	1	2	1	1	0.1	0.1	0.1	0.1
6	2	3	2	1	0.1	0.1	0.1	0.1
8	4	5	3	2	0.1	0.2	0.1	0.1
10	6	8	4	2	0.2	0.3	0.1	0.1
12	8	11	6	3	0.3	0.5	0.2	0.1
14	11	15	8	4	0.5	0.8	0.3	0.1
16	14	19	11	6	0.7	1.1	0.5	0.2
18	17	24	13	7	0.9	1.5	0.6	0.3
20	21	30	16	9	1.2	2.1	0.8	0.4
24	31	43	23	12	2.2	3.0	1.4	0.6
30	48	67	36	18	4.2	6.8	2.7	1.1
36	68	96	52	27	7.0	11.7	4.7	1.8

INCREASE BLOCKING AREA AND CONCRETE QUANTITY FOR PRESSURES ABOVE 200 P.S.I. OR POOR SOIL CONDITIONS.

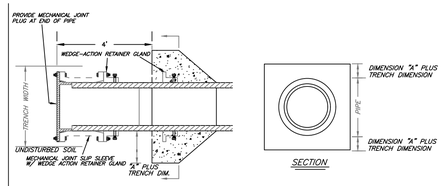
KEEP CONCRETE AWAY FROM JOINTS. PLACE CONCRETE FAIRLY DRY AND FORM IF REQUIRED FOR MAXIMUM AREA AGAINST UNDISTURBED SOIL.

ALL FITTINGS AND ACCESSORIES TO BE WRAPPED WITH 10 MIL POLYETHYLENE PRIOR TO POURING BLOCKING.

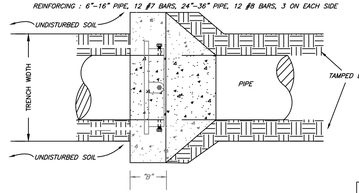
USE 3000 P.S.I. CONCRETE.



CONCRETE THRUST BLOCKING



REINFORCING : 6"–16" PIPE, 12 #7 BARS, 24"–36" PIPE, 12 #8 BARS, 3 ON EACH SIDE



SCHEDULE		
PIPE DIA.	CONC.	THRUST BLOCK
	"A"	"B"
6",8",12"	12"	12"
16"	16"	12"
20"	16"	12"
24"	16"	12"
30"	16"	14"
36"	16"	16"

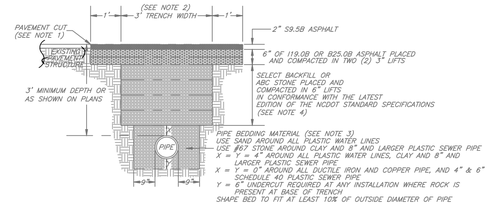
SIZE OF CONC. THRUST BLOCK AROUND PIPE TO BE DETERMINED BY DITCH (TRENCH) DIMENSION PLUS EXTENSION "A" INTO SIDES AND BOTTOM AS SHOWN IN SCHEDULE. CONC. INTO SIDES OF DITCH TO BE POURED AGAINST FIRM, UNDISTURBED GROUND. FILL AGAINST CONC. BLOCKING TO BE COMPACTED TO 95% PROCTOR FOR LENGTH ALONG PIPE OF AT LEAST 6'–0" EACH SIDE.

WHERE THRUST BLOCKING OCCURS, THE TRENCH SHOULD BE AT MINIMUM WIDTH.

THRUST COLLAR INSTALLATION

NOTES

1. PAVEMENT SHALL BE CUT TO TRUE LINE AND REMOVED BEFORE TRENCH IS CUT.
2. DIMENSION FOR TRENCH WIDTH MAY VARY AS REQUIRED TO ACCOMODATE EXCAVATION, SHORING AND COMPACTION EQUIPMENT.
3. WIDTH OF TRENCH FOR PIPE BEDDING TO BE AS SHOWN UNLESS A GREATER WIDTH IS RECOMMENDED BY PIPE MANUFACTURER OR REQUIRED FOR USE OF EQUIPMENT ON SITE.
4. CONTRACTOR SHALL OBTAIN TESTING SERVICES ON COMPACTION OF THE BACKFILL FROM A FIRM WITH AN APPROVED NCDOT CERTIFIED TECHNICIAN, AND PROVIDE REPORTS (WITH THE CERTIFICATION TESTING NUMBER) VERIFYING THAT THE COMPACTION CONFORMS WITH THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS

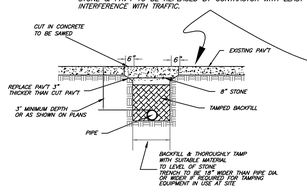


PAVEMENT REPAIR TYPICAL
OPEN CUT OF NCDOT SECONDARY ROAD FOR 12" DIAMETER AND SMALLER PIPE

PAV'T CUT TO EXTEND 6" BEYOND EDGES OF TRENCH AS SHOWN.
PAV'T SHALL BE CUT TO TRUE LINE AND REMOVED BEFORE TRENCH IS CUT.
ALL PAV'T REPAIRS TO BE IN ACCORDANCE WITH N.C.D.O.T. SPECS

TRENCH SHALL BE BACKFILLED AND THOROUGHLY TAMPED WITH SUITABLE MATERIAL TO LEVEL OF STONE.

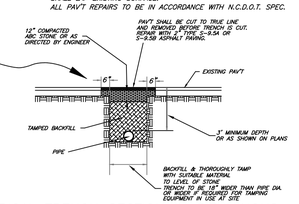
STONE & PAV'T TO BE REPLACED BY CONTRACTOR WITH LEAST INTERFERENCE WITH TRAFFIC.



TYPICAL TRENCH SECTION
IN CONC. PAVED AREA

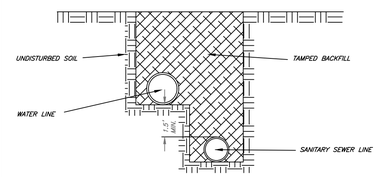
IN UNPAVED GRAVEL AREAS, REPLACE GRAVEL WITH AGGREGATE AS REQUIRED TO MATCH EXISTING SURFACE COMPACTED TO 6" THICKNESS

PAV'T CUT TO EXTEND 6" BEYOND EDGES OF TRENCH AS SHOWN. WHERE EXISTING PAVEMENT IS INSUFFICIENT THICKNESS TO DEVELOP TIGHT SEAL WITH NEW SURFACE, NEW PAVEMENT SHALL LAP EXISTING SURFACE.
ALL PAV'T REPAIRS TO BE IN ACCORDANCE WITH N.C.D.O.T. SPEC.

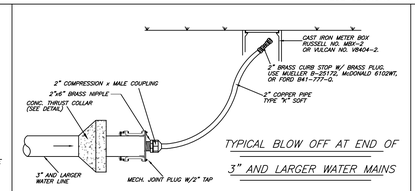


TYPICAL TRENCH SECTION IN BITUMINOUS SURFACE PAVED AREA

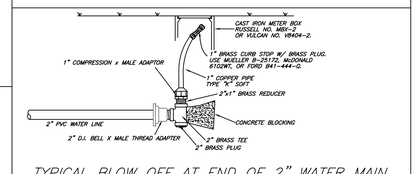
THESE SECTIONS ARE N/A ON NEW STREET CONST.



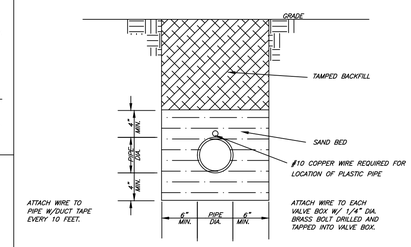
PARALLEL WATER & SANITARY SEWER PIPE DETAIL



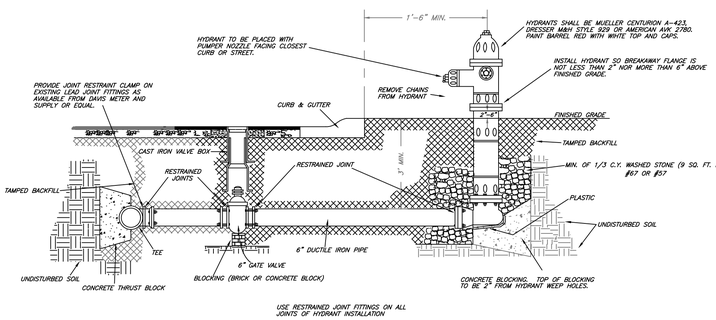
TYPICAL BLOW OFF AT END OF 3" AND LARGER WATER MAINS



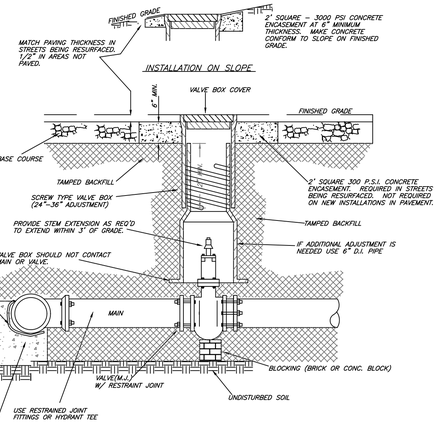
TYPICAL BLOW OFF AT END OF 2" WATER MAIN



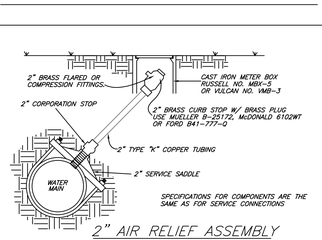
TYPICAL TRENCH SECTION FOR 2" P.V.C. PIPE ONLY



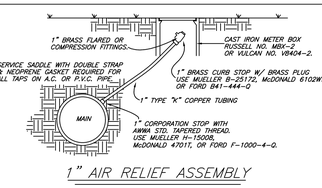
FIRE HYDRANT INSTALLATION



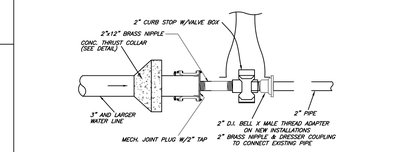
VALVE INSTALLATION



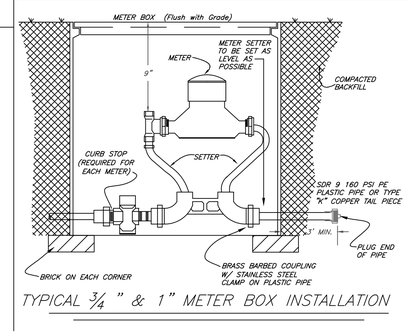
2" AIR RELIEF ASSEMBLY



1" AIR RELIEF ASSEMBLY



2" WATER LINE CONNECTION TO PLUG



TYPICAL ¾" & 1" METER BOX INSTALLATION

CORPORATION STOPS

CORPORATION STOPS SHALL BE ALL BRASS WITH AWWA C800 STANDARD THREADS MANUFACTURED IN THE FOLLOWING SIZES AND MODELS:

SIZE	MUELLER	McDONALD	FORD
3/4"	H-15008	4701T	F-1000-3-Q
1"	H-15008	4701T	F-1000-4-Q
1 1/2"	H-15013	4701T	FB-1000-6-Q
2"	H-15013	4701T	FB-1000-7-Q

SERVICE PIPE

SERVICE PIPE SHALL BE SEAMLESS COPPER TYPE "K" AS SPECIFIED BY ASTM B88.

METER SETTERS

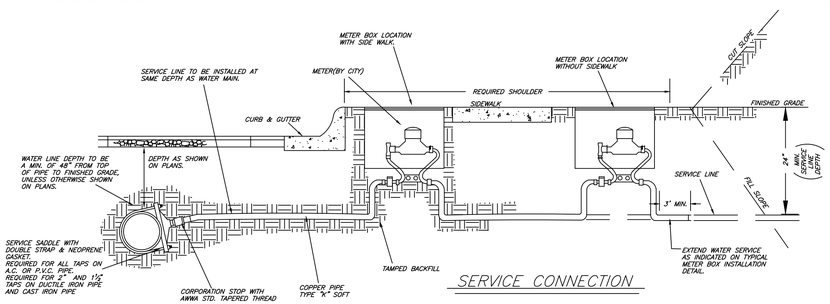
METER SETTERS SHALL BE ALL BRASS MANUFACTURED IN THE FOLLOWING SIZES AND MODELS:

SIZE	MUELLER	McDONALD	FORD
3/4"	B-2404-2A	20-209W00033	VBHC72-9W-11-33
1"	B-2404-2A	20-412MD044	VBHC74-12W-11-44
1 1/2"	H-1423-2	20B615WDFF666	VBHH76-12B-11-66
2"	H-1423-2	20B715WDFF776	VBHH77-12B-11-77

CURB STOPS

CURB STOPS SHALL BE ALL BRASS MANUFACTURED IN THE FOLLOWING SIZES AND MODELS:

SIZE	MUELLER	McDONALD	FORD
3/4"	B-25172	6102WT	B41-333-Q
1"	B-25172	6102WT	B41-444-Q
1 1/2"	B-25172	6102WT	B41-666-Q
2"	B-25172	6102WT	B41-777-Q



SERVICE CONNECTION

SERVICE SADDLES

FURNISH AND INSTALL DOUBLE STRAP SERVICE SADDLES FOR ALL TAPS MADE ON A.C. OR P.V.C. MAINS, AND ON ALL 1 1/2" AND 2" TAPS MADE ON DUCTILE IRON PIPE. SADDLES FURNISHED SHALL BE MANUFACTURED FOR TYPE OF PIPE INTO WHICH TAP IS MADE IN THE FOLLOWING SIZES AND MODELS AND SHALL INCLUDE A GASKET:

SIZE	D.I. PIPE	SMITH-BLAIR	MUELLER	FORD
3/4"	NOT REQUIRED	317	BR2B	F202
1"	NOT REQUIRED	317	BR2B	F202
1 1/2"	SERVICE SADDLE WITH 1 1/2" cc (O.D.X 1 1/2")	317	BR2B	F202
2"	SERVICE SADDLE WITH 2" cc (O.D.X 2")	317	BR2B	F202

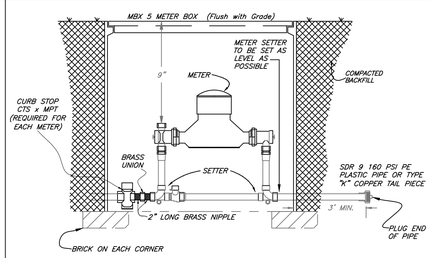
SIZE	2" PVC PIPE	SMITH-BLAIR	ROMAC	FORD
3/4"	SERVICE SADDLE WITH 3/4" cc (O.D. X 3/4")	315-025607-000	101S-2.50-3/4cc	FC101-2.50-cc3
1"	SERVICE SADDLE WITH 1" cc (O.D. X 1")	315-025609-000	101S-2.50-1cc	FC101-2.50-cc4

LARGER SERVICES FOR PVC PIPE WILL REQUIRE A TEE FITTING INSTALLED IN THE MAIN LINE.

METER BOXES

METER BOXES SHALL BE MANUFACTURED IN THE FOLLOWING SIZES AND MODELS:

SIZE	RUSSELL	VULCAN	SUMITER MACHINE
3/4"	MBX-2	V84O4-2	MB2-MBC2
1"	MBX-2	V84O4-2	MB2-MBC2
1 1/2"	MBX-5	VMB-3	MB8-MBC8
2"	MBX-5	VMB-3	MB8-MBC8



TYPICAL 1 ½" & 2" METER BOX INSTALLATION

Summey Engineering Associates, PLLC
Engineering - Consulting - Surveying
PO Box 968
Asheboro, NC 27204
Phone: 336-625-0902 Fax: 336-625-0922
E-mail - info@summeyengineering.com
NC Professional Engineering Firm License No. F-0336

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER H. MACK SUMMEY, JR.

SEA

No.	Date:	Description:	By:

STANDARD WATER DETAILS
THOMAS ESTATES
2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

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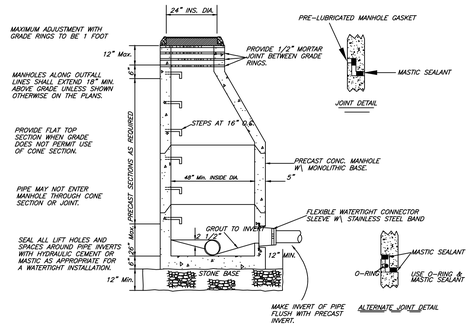
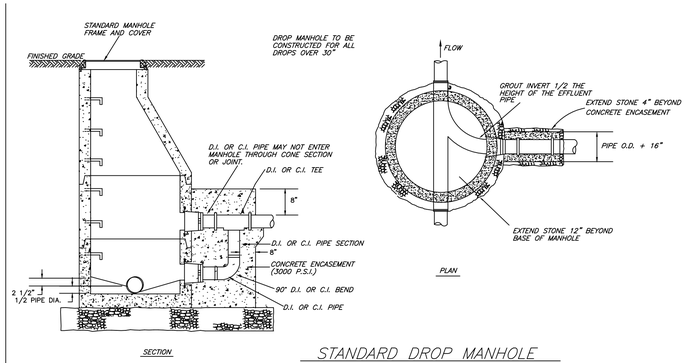


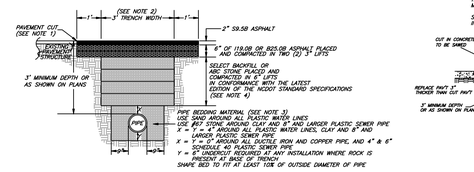
STANDARD PRECAST CONCRETE MANHOLE



STANDARD DROP MANHOLE

NOTES

1. PAVEMENT SHALL BE CUT TO TRUE LINE AND REMOVED BEFORE TRENCH IS CUT.
2. DIMENSION FOR TRENCH WIDTH MAY VARY AS REQUIRED TO ACCOMODATE EXCAVATION, SHORING AND COMPACTION EQUIPMENT.
3. WIDTH OF TRENCH FOR PIPE BEDDING TO BE AS SHOWN UNLESS A GREATER WIDTH IS RECOMMENDED BY PIPE MANUFACTURER OR REQUIRED FOR USE OF EQUIPMENT ON SITE.
4. CONTRACTOR SHALL OBTAIN TESTING SERVICES ON COMPACTION OF THE BACKFILL FROM A FIRM WITH AN APPROVED NCDOT CERTIFIED TECHNICIAN, AND PROVIDE REPORTS (WITH THE CERTIFICATION TESTING NUMBER) VERIFYING THAT THE COMPACTION CONFORMS WITH THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS.



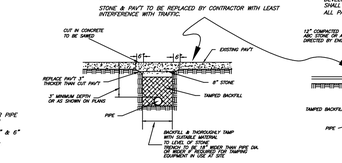
PAVEMENT REPAIR TYPICAL

OPEN CUT OF NCDOT SECONDARY ROAD FOR 12" DIAMETER AND SMALLER PIPE

PAVT CUT TO EXTEND 6" BEYOND EDGES OF TRENCH AS SHOWN. PAVT SHALL BE CUT TO TRUE LINE AND REMOVED BEFORE TRENCH IS CUT. ALL PAVT REPAIRS TO BE IN ACCORDANCE WITH N.C.D.O.T. SPECS

TRENCH SHALL BE BACKFILLED AND THOROUGHLY TAMPED WITH SUITABLE MATERIAL TO LEVEL OF STONE.

STONE & PAVT TO BE REPLACED BY CONTRACTOR WITH LEAST INTERFERENCE WITH TRAFFIC.

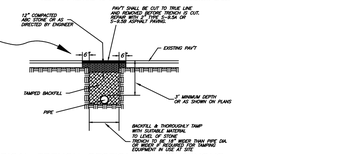


TYPICAL TRENCH SECTION

IN CONC. PAVED AREA

IN UNPAVED GRAVEL AREAS, REPLACE GRAVEL WITH AGGREGATE AS REQUIRED TO MATCH EXISTING SURFACE COMPACTED TO 8" THICKNESS

PAVT CUT TO EXTEND 6" BEYOND EDGES OF TRENCH AS SHOWN. WHERE EXISTING PAVEMENT IS INSUFFICIENT THICKNESS TO DEVELOP TOPH SEAL WITH NEW SURFACE, NEW PAVEMENT SHALL LAP EXISTING SURFACE.
ALL PAVT REPAIRS TO BE IN ACCORDANCE WITH N.C.D.O.T. SPEC.



TYPICAL TRENCH SECTION IN BITUMINOUS

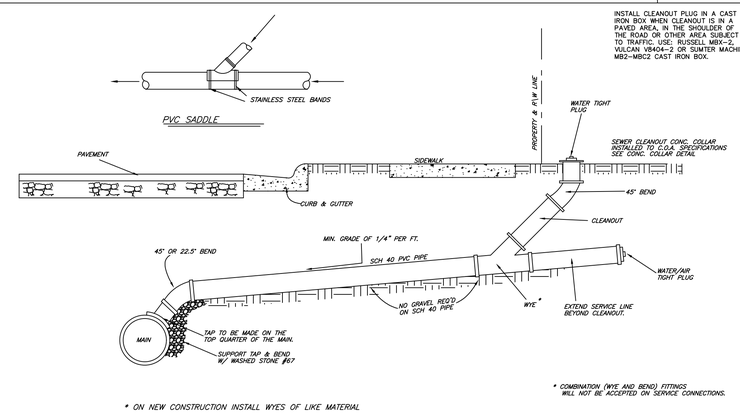
SURFACE PAVED AREA

THESE SECTIONS ARE N/A ON NEW STREET CONST.

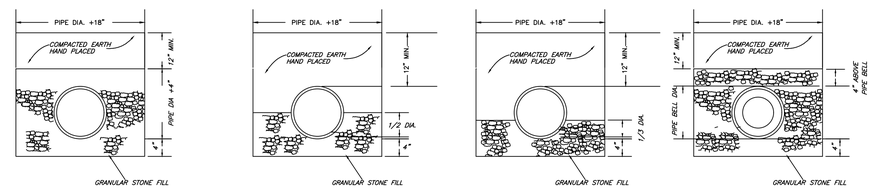
TIME (MIN:SEC) REQUIRED FOR PRESSURE DROP FROM 3 1/2 TO 2 1/2 PSIG WHEN TESTING ONE PIPE DIAMETER ONLY. INCREASE PRESSURE AS REQUIRED BY ENGINEER IF GROUNDWATER IS PRESENT.

LENGTH OF LINE, FEET \ PIPE DIAMETER, INCHES	4	6	8	10	12	15	18	21	24
25	0:05	0:11	0:18	0:23	0:27	:32	0:36	0:45	0:54
50	0:09	0:21	0:36	0:45	0:54	1:03	1:12	1:30	1:48
75	0:14	0:32	0:54	1:23	1:21	1:35	1:48	2:15	2:42
100	0:18	0:42	1:12	1:30	1:48	2:06	2:24	3:00	3:36
125	0:23	0:53	1:30	1:53	2:15	2:38	3:00	3:45	4:30
150	0:27	1:03	1:48	2:15	2:42	3:09	3:36	4:30	5:24
175	0:32	1:14	2:06	2:38	3:09	3:41	4:12	5:15	6:18
200	0:36	1:24	2:24	3:00	3:36	4:12	4:48	6:00	7:12
225	0:41	1:35	2:42	3:23	4:03	4:44	5:24	6:45	8:06
250	0:45	1:45	3:00	3:45	4:30	5:15	6:00	7:30	9:00
275	0:50	1:56	3:18	4:08	4:57	5:47	6:36	8:15	9:54
300	0:54	2:06	3:36	4:30	5:24	6:18	7:12	9:00	10:48
350	1:03	2:27	4:12	5:15	6:18	7:21	8:24	10:30	12:36
400	1:12	2:48	4:48	6:00	7:12	8:24	9:36	12:00	14:24
450	1:21	3:09	5:24	6:45	8:06	9:27	10:48	13:30	16:12
500	1:30	3:30	6:00	7:30	9:00	10:30	12:00	15:00	18:00

AIR TEST TABLE



STANDARD SERVICE CONNECTION



SINGLE WALL(SDR 35)

PVC PIPE BEDDING

A.B.S. TRUSS PIPE OR PVC

TRUSS PIPE BEDDING

DETAIL OF CLAY PIPE

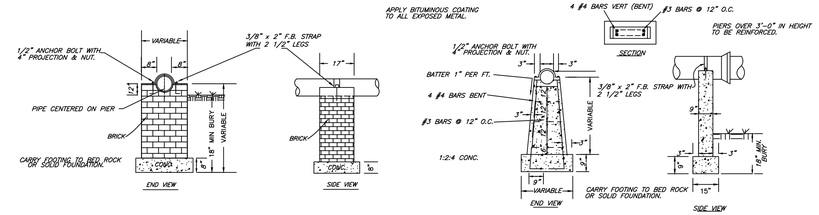
BEDDING

CRUSHED STONE

ENCASEMENT

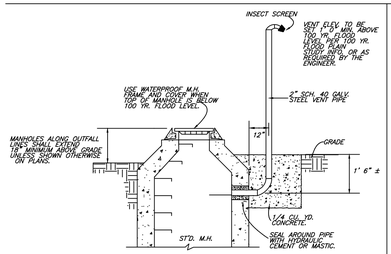
FOR CLAY PIPE

14–20 FT. DEEP

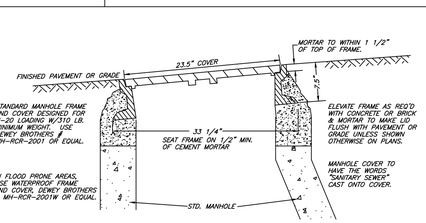


BRICK PIER FOR EXPOSED PIPE

CONC. PIER FOR EXPOSED PIPE

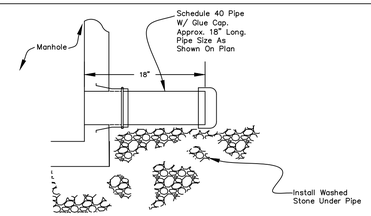


TYPICAL MANHOLE VENT DETAIL



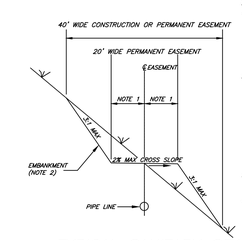
MANHOLE FRAME & COVER ON

NEW INSTALLATIONS



PLUG FOR FUTURE SEWER LINE

CONNECTION AT MANHOLE

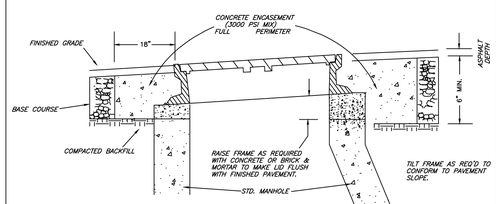


NOTES:

1. WHERE CONSTRUCTION EASEMENT IS AVAILABLE FOR EMBANKMENT, GENERALLY GRADE ENTIRE PERMANENT EASEMENT AT 2% MAX CROSS SLOPE. IN ANY EVENT, PROVIDE 2% MAX SLOPE FOR 10' MIN. EACH SIDE OF MANHOLES.
2. PLACE EMBANKMENTS IN CONSTRUCTION EASEMENT. WHERE CONSTRUCTION EASEMENT IS NOT AVAILABLE, PLACE EMBANKMENTS IN OUTER PORTION OF PERMANENT EASEMENT. EMBANKMENT SLOPE SHALL NOT EXCEED 3:1 EXCEPT WHERE SPECIFICALLY NOTED ON PLANS OR SUFFICIENT EASEMENT IS NOT AVAILABLE TO MAINTAIN A 12' MIN. TRAVELWAY AT 2% MAX CROSS SLOPE.
3. SLOPE OF FINISHED GRADE ALONG PIPE LINE SHALL NOT EXCEED 20%.
4. PROVIDE CULVERTS OR FORDS AT CREEK CROSSINGS SO THAT EASEMENT WILL BE ACCESSIBLE FOR MAINTENANCE EQUIPMENT.

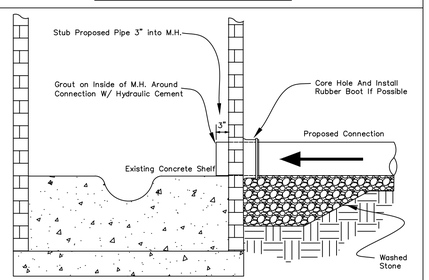
TYPICAL SANITARY SEWER

EASEMENT CROSS SECTION



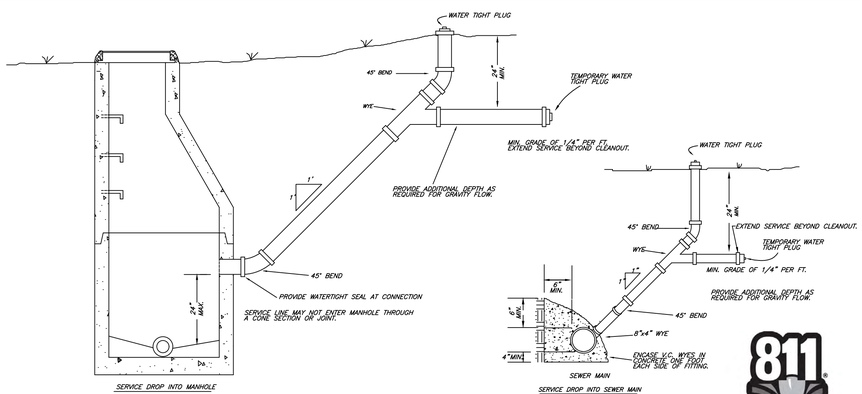
MANHOLE FRAME & COVER ADJUSTMENT ON

STREETS BEING RESURFACED



MAIN LINE CONNECTION

TO EXISTING MANHOLE



DROP TYPE SERVICE CONNECTION

Know what's below. Call before you dig.

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER H. MACK SUMMEY, JR.

SEA

Summey Engineering Associates, PLLC
Engineering - Consulting - Surveying
PO Box 968
Asheboro, NC 27204
Phone: 336-328-0902 Fax: 336-328-0922
E-mail - info@summeyengineering.com
NC Professional Engineering Firm License No. F-0336

No.	Date:	Description:	By:

STANDARD SANITARY SEWER DETAILS

THOMAS ESTATES

2513 OLD CEDAR FALLS ROAD

ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB., 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-7794

Sheet No. C-10

P:\E-7794 Brian Thomas - Deer Farm Property - Duplex Development - 2513 Old Cedar Farm Rd, Asheboro, NC\DWG\Civil Site\E-7794 BASE 02-08-22.dwg,
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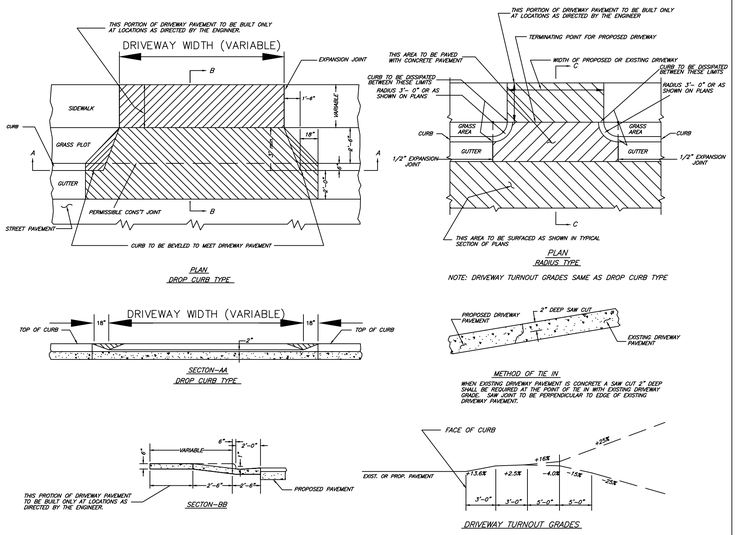
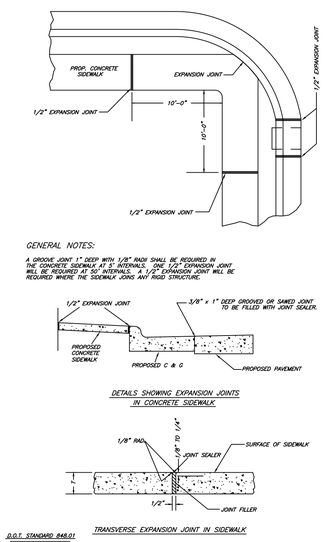


STANDARD DRIVEWAY TURNOUT

D.O.T. STANDARD 848.02 AND 848.03.

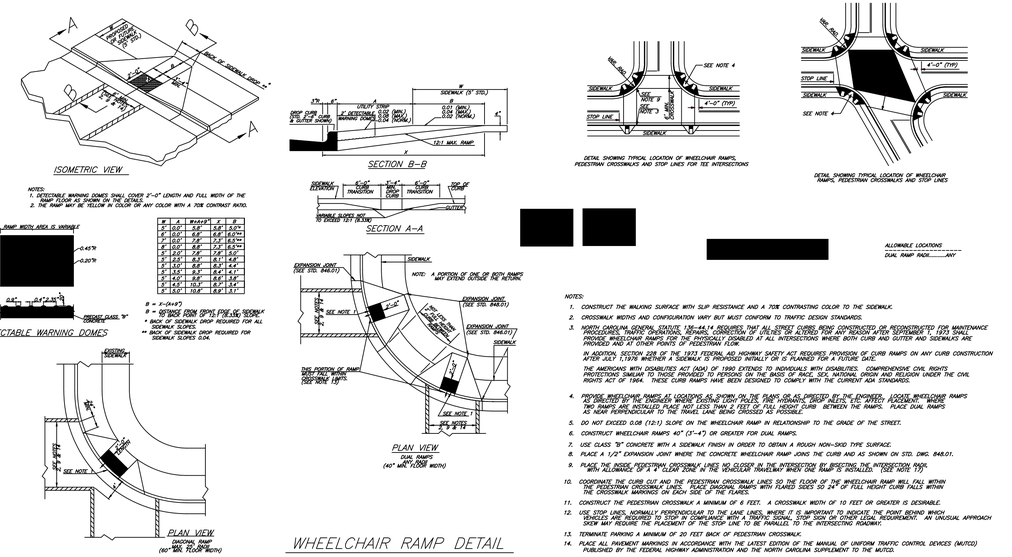


D.O.T. STANDARD 848.01

GENERAL NOTES:

A GROOVE JOINT 1" DEEP WITH 1/8" RADIUS SHALL BE REQUIRED IN CONCRETE SIDEWALK AT INTERVALS OF ONE (1) FOOT. EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.

STANDARD CONCRETE SIDEWALK



NOTES:
1. DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
2. THE RAMP MAY BE YELLOW IN COLOR OR ANY COLOR WITH A 70% CONTRAST RATIO.

W	A	W min F	F	B
5'-10.0"	8.8"	5.8"	5.0"	
6'-0.0"	8.8"	6.0"	6.0"**	
6'-10.0"	7.8"	7.3"	6.5"**	
8'-10.0"	8.8"	7.3"	6.5"**	
5'-2.0"	7.8"	5.8"	5.0"	
5'-2.5"	8.8"	6.1"	4.8"	
5'-10.0"	8.8"	6.8"	4.4"	
5'-11.5"	8.8"	6.9"	4.1"	
5'-11.5"	9.8"	6.9"	4.8"	
5'-11.5"	10.8"	6.9"	5.4"	
5'-10.0"	11.8"	6.8"	5.4"	

B = X-(W+F)
B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF TRUNCATED DOME.
* BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.
** BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES 5.0%.

NOTES:
1. CONSTRUCT THE WALKING SURFACE WITH SLIP RESISTANCE AND A 70% CONTRASTING COLOR TO THE SIDEWALK.
2. CROSSWALK WIDTHS AND CONFIGURATION VARY BUT MUST CONFORM TO TRAFFIC DESIGN STANDARDS.
3. NORTH CAROLINA GENERAL STATUTE 136-44.14 REQUIRES THAT ALL STREET CURBS RIDIG CONSTRUCTED OR RECONSTRUCTED FOR MAINTENANCE PURPOSES SHALL BE CONSTRUCTED TO PROVIDE RAMPS FOR THE PHYSICALLY DISABLED AT ALL INTERSECTIONS WHERE BOTH CURB AND GUTTER AND SIDEWALKS ARE PROVIDED AND AT OTHER POINTS OF PEDESTRIAN FLOW.

   IN ADDITION, SECTION 4.28 OF THE 1973 FEDERAL AID HIGHWAY SAFETY ACT REQUIRES PROVISION OF CURB RAMPS ON ANY CURB CONSTRUCTION AFTER JULY 1,1976 WHETHER A SIDEWALK IS PROVIDED INITIALLY OR IS PLANNED FOR A FUTURE DATE.

   THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990 EXTENDS TO INDIVIDUALS WITH DISABILITIES COMPREHENSIVE CIVIL RIGHTS PROTECTIONS SIMILAR TO THOSE PROVIDED TO PERSONS BASED ON RACE, COLOR, SEX, NATIONAL ORIGIN, AGE, AND RELIGION UNDER THE CIVIL RIGHTS ACT OF 1964. THESE CURB RAMPS HAVE BEEN DESIGNED TO COMPLY WITH THE CURRENT ADA STANDARDS.
4. PROPOSE WHEELCHAIR RAMPS AT NODES AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. LOCATE WHEELCHAIR RAMPS AS DIRECTED BY THE ENGINEER WHERE SIDEWALK, CONCRETE PLATE, AND HORIZONTAL GROOVE WITH 1/8" RADIUS, ETC. APPEAR ADEQUATE. WHERE TWO RAMPS ARE INSTALLED PLACE NOT LESS THAN 2 FEET OF FULL HEIGHT CURB BETWEEN THE RAMPS. PLACE DUAL RAMPS AS NEAR PERPENDICULAR TO THE TRAVEL LANE BEING CROSSED AS POSSIBLE.
5. DO NOT EXCEED 0.08 (12:1) SLOPE ON THE WHEELCHAIR RAMP IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. CONSTRUCT WHEELCHAIR RAMPS 40" (3'-4") OR GREATER FOR DUAL RAMPS.
7. USE CLASS "B" CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
8. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STD. DWG. 848.01.
9. PLACE THE RADIAL CROSSWALK USE NO SLOPE EXCEEDS THE PLANS OR AS DIRECTED BY THE ENGINEER. LOCATE WHEELCHAIR RAMPS WITH ALLOWABLE SLOPE IN THE CLEAR ZONE AT THE VEHICULAR PAVEMENT WHERE ONE RAMP IS INSTALLED. (SEE NOTE 13)
10. COORDINATE THE CURB CUT AND THE PEDESTRIAN CROSSWALK LINES SO THE FLOOR OF THE WHEELCHAIR RAMP WILL FALL WITHIN THE CROSSWALK LINES. PLACE THE RAMP SO THE RAMP FLARES WITH FLARED SIDES 30 24" OF FULL HEIGHT CURB FALLS WITHIN THE CROSSWALK MARKINGS ON EACH SIDE OF THE FLARES.
11. CONSTRUCT THE PEDESTRIAN CROSSWALK A MINIMUM OF 6 FEET. A CROSSWALK WIDTH OF 10 FEET OR GREATER IS DESIRABLE.
12. USE STOP LINES, NORMALLY PERPENDICULAR TO THE LANE LINES, WHERE IT IS IMPORTANT TO INDICATE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN OR OTHER LEGAL REQUIREMENT. AN UNUSUAL APPROACH SKEW MAY REQUIRE THE PLACEMENT OF THE STOP LINE TO BE PARALLEL TO THE INTERSECTING ROADWAY.
13. TERMINATE PARKING A MINIMUM OF 20 FEET BACK OF PEDESTRIAN CROSSWALK.
14. PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.

WHEELCHAIR RAMP DETAIL

NOTE:

ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES LATEST EDITION.

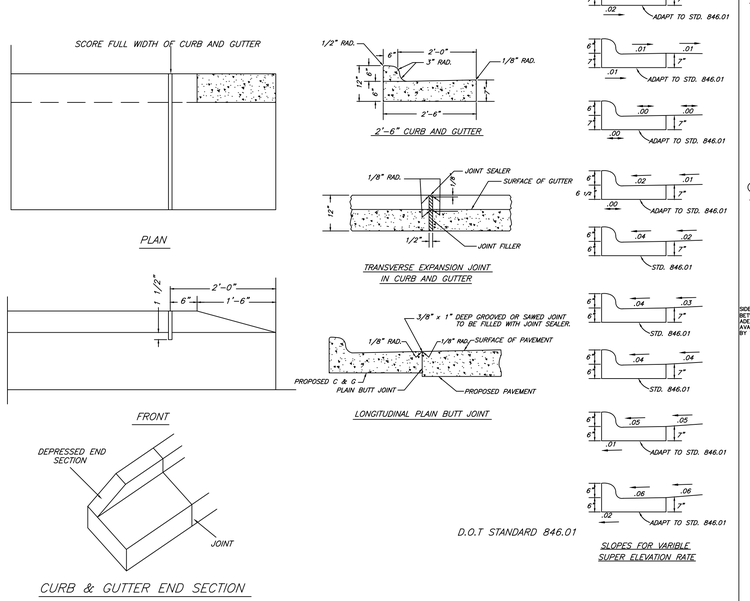
GENERAL NOTES:

CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS, EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.

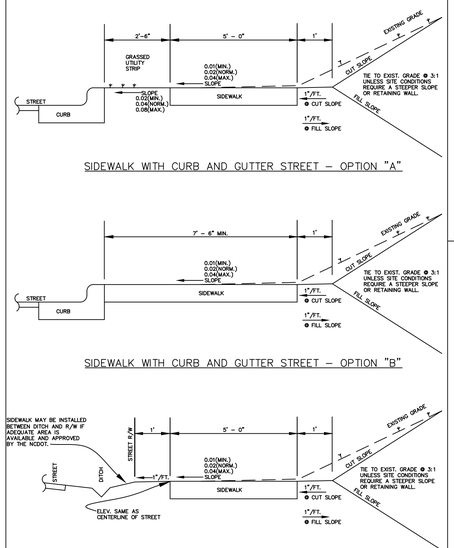
CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.

ALL CONTRACTION JOINTS EXCEPT IN 8"x8" MEDIAN CURB SHALL BE FILLED WITH JOINT SEALER.

EXPANSION JOINTS SHALL BE SPACED AT 80 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



STANDARD CONCRETE CURB AND CURB & GUTTER

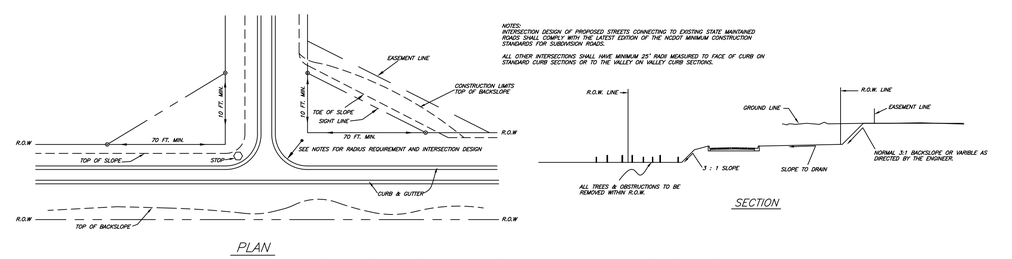


NOTES
- THE NCDOT WILL NOT ALLOW SIDEWALK ON THE SHOULDER OF A STREET WITHOUT CURB AND GUTTER.
- OPTION "A" OR OPTION "B" MAY BE USED ALONG STREETS WITH CURB AND GUTTER, AS NEEDED TO BE COMPATIBLE WITH THE CHARACTER OF THE AREA BEING DEVELOPED AND THE LOCATION OF EXISTING UTILITY POLES.
- DIMENSIONS MAY VARY IF REQUIRED BY THE NCDOT.
- USE 4" THICK SIDEWALK ALONG STANDARD CURB AND GUTTER.
- USE 6" THICK SIDEWALK ACROSS DRIVEWAYS AND ALONG VALLEY CURB.

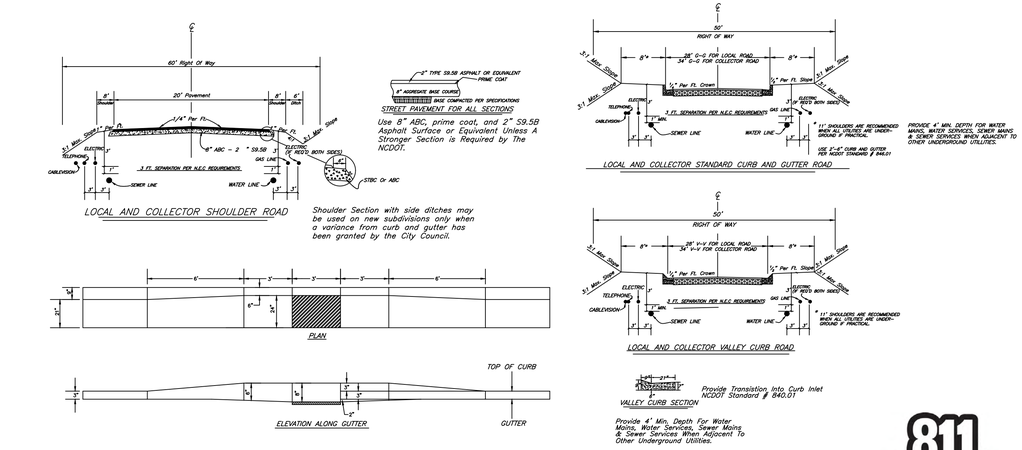
SIDEWALK STANDARDS

NOTES:
INTERSECTION DESIGN OF PROPOSED STREETS CONNECTING TO EXISTING STATE MAINTAINED ROADS SHALL COMPLY WITH THE LATEST EDITION OF THE NCDOT MINIMUM CONSTRUCTION STANDARDS FOR SUBDIVISION ROADS.

ALL OTHER INTERSECTIONS SHALL HAVE MINIMUM 25' RADII MEASURED TO FACE OF CURB ON STANDARD CURB SECTIONS OR TO THE VALLEY ON VALLEY CURB SECTIONS.



STANDARD METHODS OF GRADING SIGHT DISTANCE AT INTERSECTIONS



TYPICAL STREET SECTIONS

Know what's below. Call before you dig.

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER H. MACK SUMMEY, JR.
SEA
Summey Engineering Associates, PLLC
Engineering - Consulting - Surveying
PO Box 968
Asheboro, NC 27204
Phone: 336-328-0902 Fax: 336-328-0922
E-mail - info@summeyengineering.com
NC Professional Engineering Firm License No. F-0336

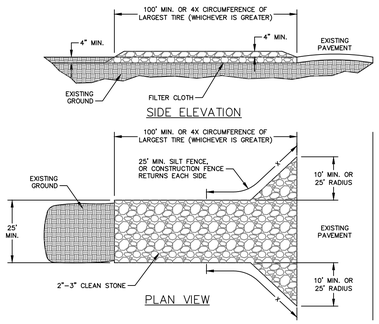
No.	Date:	Description:	By:

STANDARD STREET DETAILS
THOMAS ESTATES
2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB., 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-7794

Sheet No. C-11

P:\E-7794 Brian Thomas - Deer Farm Property - Duplex Development - 2513 Old Cedar Farm Rd, Asheboro, NC\DWG\Civil Site\E-7794 BASE 02-08-22.dwg, 3/3/2022 1:22:52 PM, DWG To PDF.pc3

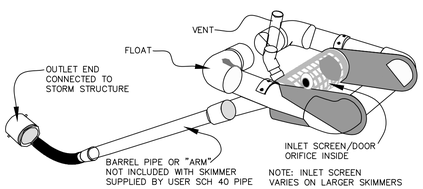


CONSTRUCTION SPECIFICATIONS

1. STONE – USE COARSE AGGREGATE (2–3 INCH STONE)
2. LENGTH – AS EFFECTIVE, BUT NOT LESS THAN 100 FEET
3. THICKNESS – NOT LESS THAN EIGHT(8) INCHES
4. WIDTH – NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS
5. WASHING – WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE. THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

TEMPORARY CONSTRUCTION ENTRANCE

NTS

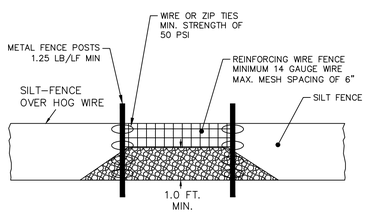


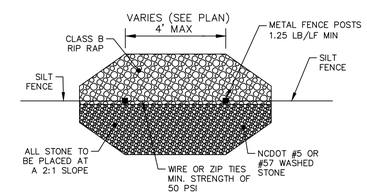
SEE CALCULATIONS FOR SKIMMER SIZE

SKIMMERS TO BE FAIRCLOTH SKIMMERS OR APPROVED EQUAL.

SKIMMER DETAIL

NTS





MAINTENANCE REQUIREMENTS:

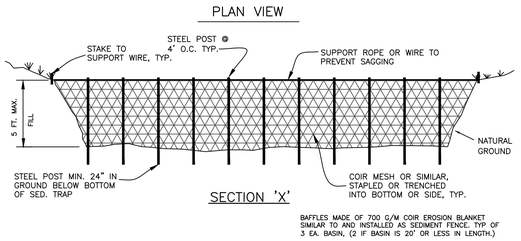
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
- REMOVE ALL FENCING MATERIAL AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

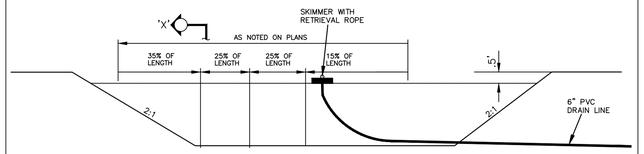
NOTE:

- REFER TO SILT FENCE DETAIL FOR MORE INFORMATION.

SILT FENCE STONE OUTLET

N.T.S.





CROSS SECTION

NOTE:
SIZE SHOWN IS WATER VOL. W/RECOMMENDED SURFACE AREA.

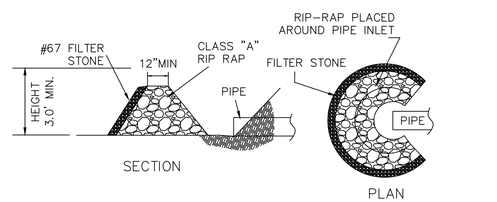
NOTE:
ALL SEDIMENT TRAPS SHALL BE CLEANED OUT AFTER EACH SIGNIFICANT STORM. REPLACE STONE AND FILTER STONE AS MAY BE REQUIRED TO REFURBISH EACH SEDIMENT TRAP.

TEMPORARY SEDIMENT TRAP w/ SKIMMER

N.T.S.

GENERAL NOTES/MAINTENANCE REQUIREMENTS

1. AREA UNDER EMBANKMENT TO BE CLEANED, GRUBBED AND STRIPPED OF ANY VEGETAION AND ROOT MAT.
2. FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER WOOD/VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED IN NOT GREATER THAN 9" LIFTS BY TRAVERSING WITH EQUIPMENT.
3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO IT ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. THIS DEPTH SHALL BE MARKED IN THE FIELD.
4. REMOVED SEDIMENT SHALL BE PLACED IN A DESIGNATED DISPOSAL AREA AND PROTECTED AGAINST EROSION.
5. THE WEIR MUST BE CONSTRUCTED LEVEL AND TO GRADE TO ASSURE DESIGN
6. STONES SHALL BE MACHINE PLACED AND SHOULD BE HARD, ANGULAR AND WEATHER RESISTANT.
7. EMERGENCY SPILLWAY SHALL BE DIRECTED TO NATURAL, STABLE AREAS
8. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
9. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION OF THE BASIN.
10. TRAP SHALL BE INSPECTED REGULARLY AND AFTER EACH RAINFALL WITH REPAIRS MADE AS NECESSARY.



RIP-RAP INLET PROTECTION STRUCTURE

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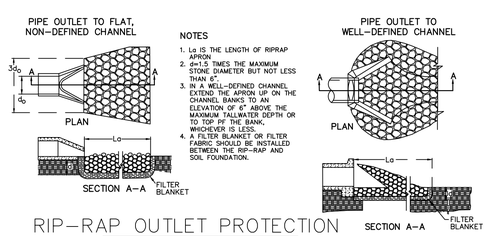
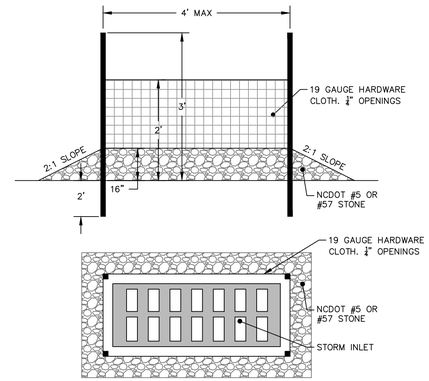


NOTES

1. Lo IS THE LENGTH OF RIPRAP APRON
2. d=1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
3. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP ON THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO TOP PF THE BANK, WHICHEVER IS LESS.
4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.

RIP-RAP OUTLET PROTECTION

N.T.S.

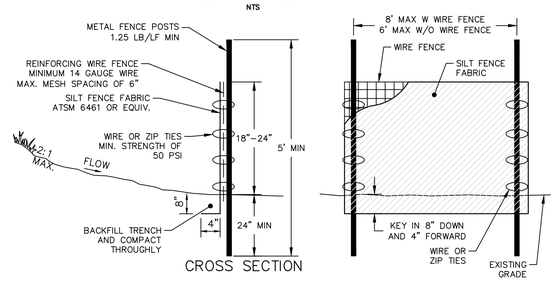


MAINTENANCE REQUIREMENTS:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- CLEAR WIRE MESH OF ANY DEPRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

HARDWARE CLOTH AND GRAVEL INLET PROTECTION

NTS

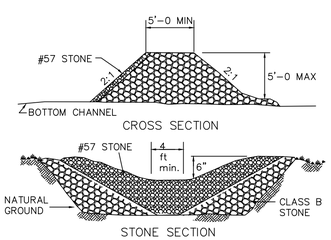


MAINTENANCE REQUIREMENTS:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
- REMOVE ALL FENCING MATERIAL AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

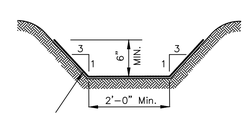
TEMPORARY SILT FENCE

NTS



TEMPORARY ROCK CHECK DAM

NTS



NORTH AMERICAN GREEN S150 OR EQUAL FOR TEMPORARY LINING

CLEAN WATER DITCH

NTS

PERMANENT SEEDING

DEFINITION

Seeding disturbed areas with perennial grasses and (or) legumes to provide a permanent vegetative cover to lessen runoff and soil erosion.

PURPOSE

To lessen soil erosion and permanently stabilize disturbed areas created by grading of construction sites.

CONDITIONS WHERE PRACTICE APPLIES

All bare soil areas on construction sites which are not covered by structures or other erosion control devices.

PREPARATION

Prepare seedbed by ripping, chiseling, harrowing or plowing to depth of six inches so as to produce a loose, friable surface. Remove all stones, boulders, stumps or debris from the surface which would prohibit germination or plant growth. Spread topsoil in a layer 3" – 6" depth.

Incorporate into the soil 800 to 1,000 pounds of 10–10–10 fertilizer plus 500 pounds of twenty percent (20%) superphosphate per acre and two tons of dolomitic lime per acre unless soil tests indicate that a lower rate of lime can be used.

Mulch after seeding with 1.5 tons of grain straw per acre and either crimp straw into soil or tack with liquid asphalt at 400 gallons per acre or emulsified asphalt at 300 gallons per acre.

PLANTS & MIXTURE	PLANTING RATE/ACRE	PLANTING DATES
Tall Fescue (Low Maintenance)	100–150 lbs.	Aug. 15 – Oct. 15 Feb. 15 – May 1
Tall fescue Waterways and Lawns (High Maint.)	200–250 lbs.	Aug. 15 – Oct. 15 Feb. 15 – May 1
Blend of two turf-type tall Fescues (90%) and two or more improved Kentucky bluegrass varieties (10%) (high maintenance)	200–250 lbs.	Aug. 15 – Oct. 15 Feb. 15 – May 1
Tall Fescue and Kobe or Korean Lespedeza	100 lbs. and 20–25 lbs.	Feb. 15 – May 1 Aug. 15 – Oct. 15
Tall Fescue	50 lbs./acre	Nov. 1 – Feb. 1 (Unscarified)
Tall Fescue and German Millet or Sudangrass 2	60 lbs. and 30 lbs.	July and August
Tall Fescue and Ryegrain 2	70 lbs. and 25 lbs.	Nov. 1 – Jan. 30
Common Bermudagrass	8 lbs. (hulled) 15–20 lbs. (unhulled)	April 15 – June 30 Feb. 1 – March 30

1 For spring seedings, use Scarified Lespedeza seed. For late fall and winter seedings, use unscarified seed.

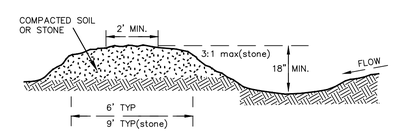
2 Annuals such as Millet, Sudangrass and Ryegrain must be kept at 10–12" maximum height.

PERMANENT GROUNDCOVER

Permanent groundcover is to be provided for all disturbed areas within 15 working days or 90 calender days (whichever is shorter) following completion of construction or development.

TEMPORARY SEEDING SPECIFICATIONS PIEDMONT REGION

Recommended Seeding Dates	Species	Application Rates (lb/ac)			
		Seed	10–10–10 Fertilizer	Agricultural Limestone	Straw
Jan. 1 – May 1	Winter Wheat Annual Lespedeza (Kobe)	120 50	750	2,000	4,000
May 1 – Aug 15	German Millet	40	750	2,000	4,000
Aug 15 – Dec 30	Ryegrain	120	1,000	2,000	4,000



CONSTRUCTION SPECIFICATIONS

REMOVE AND PROPERLY DISPOSE OF ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONAL MATERIAL.
ENSURE THAT THE MINIMUM CONSTRUCTED CROSS SECTION MEETS ALL DESIGN REQUIREMENTS.
ENSURE THAT THE TOP OF THE DIKE IS NOT LOWER AT ANY POINT THAN THE DESIGN ELEVATION PLUS THE SPECIFIED SETTLEMENT.
PROVIDE SUFFICIENT ROOM AROUND DIVERSIONS TO PERMIT MACHINE REGRADING AND CLEANOUT.
VEGETATE THE RIDGE IMMEDIATELY AFTER CONSTRUCTION, UNLESS IT WILL REMAIN IN PLACE LESS THAN 30 WORKING DAYS.

MAINTENANCE

INSPECT TEMPORARY DIVERSION ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL END APPROPRIATELY STABILIZE IT.

TEMPORARY DIVERSION DITCH

NTS

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER HACK SUMMEY, JR.

SEA

Summey Engineering Associates, PLLC
Engineering - Consulting - Surveying
PO Box 968
Asheboro, NC 27204
Phone: 336-328-0902 Fax: 336-328-0922
Email - info@summeyengineering.com
NC Professional Engineering Firm License No. F-0336

No.	Date:	Description:	By:

EROSION CONTROL DETAILS

THOMAS ESTATES

2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB., 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No:	E-7794

Sheet No. C-12

P:\E-7794 Brian Thomas - Deer Farm Property - Duplex Development - 2513 Old Cedar Farm Rd, Asheboro, NC\DWG\Civil Site\E-7794 BASE 02-08-22.dwg
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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	**Stabilize within this many calendar days after ceasing land disturbance**	**Timeframe variations**
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
• Temporary grass seed covered with straw or other mulches and tackifiers • Hydroseeding • Rolled erosion control products with or without temporary grass seed • Appropriately applied straw or other mulch • Plastic sheeting	• Permanent grass seed covered with straw or other mulches and tackifiers • Geotextile fabrics such as permanent soil reinforcement matting • Hydroseeding • Shrubs or other permanent plantings covered with mulch • Uniform and evenly distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

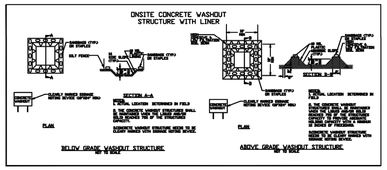
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NORTH CAROLINA Environmental Quality

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un-attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

(a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if:
- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes [After Discovery] and Other Requirements
(a) Visible sediment deposition in a stream or wetland	• ***Within 24 hours,*** an oral or electronic notification. • ***Within 7 calendar days,*** a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	• ***Within 24 hours,*** an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	• ***A report at least ten days before the date of the bypass, if possible***. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	• ***Within 24 hours,*** an oral or electronic notification. • ***Within 7 calendar days,*** a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(l)(7)]	• ***Within 24 hours,*** an oral or electronic notification. • ***Within 7 calendar days,*** a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6). • Division staff may waive the requirement for a written report on a case-by-case basis.

PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

(a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
(c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
(d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
(e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
(f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NORTH CAROLINA Environmental Quality

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

NORTH CAROLINA PROFESSIONAL SEAL 26447 ENGINEER H. JACK SUMMEY, JR.

SEA

Summey Engineering Associates, PLLC
Engineering - Consulting - Surveying
PO Box 968
Asheboro, NC 27204
Phone: 336-328-0902 Fax: 336-328-0922
E-mail - info@summeyengineering.com
NC Professional Engineering Firm License No. F-0336

No.	Date:	Description:	By:

EROSION CONTROL DETAILS

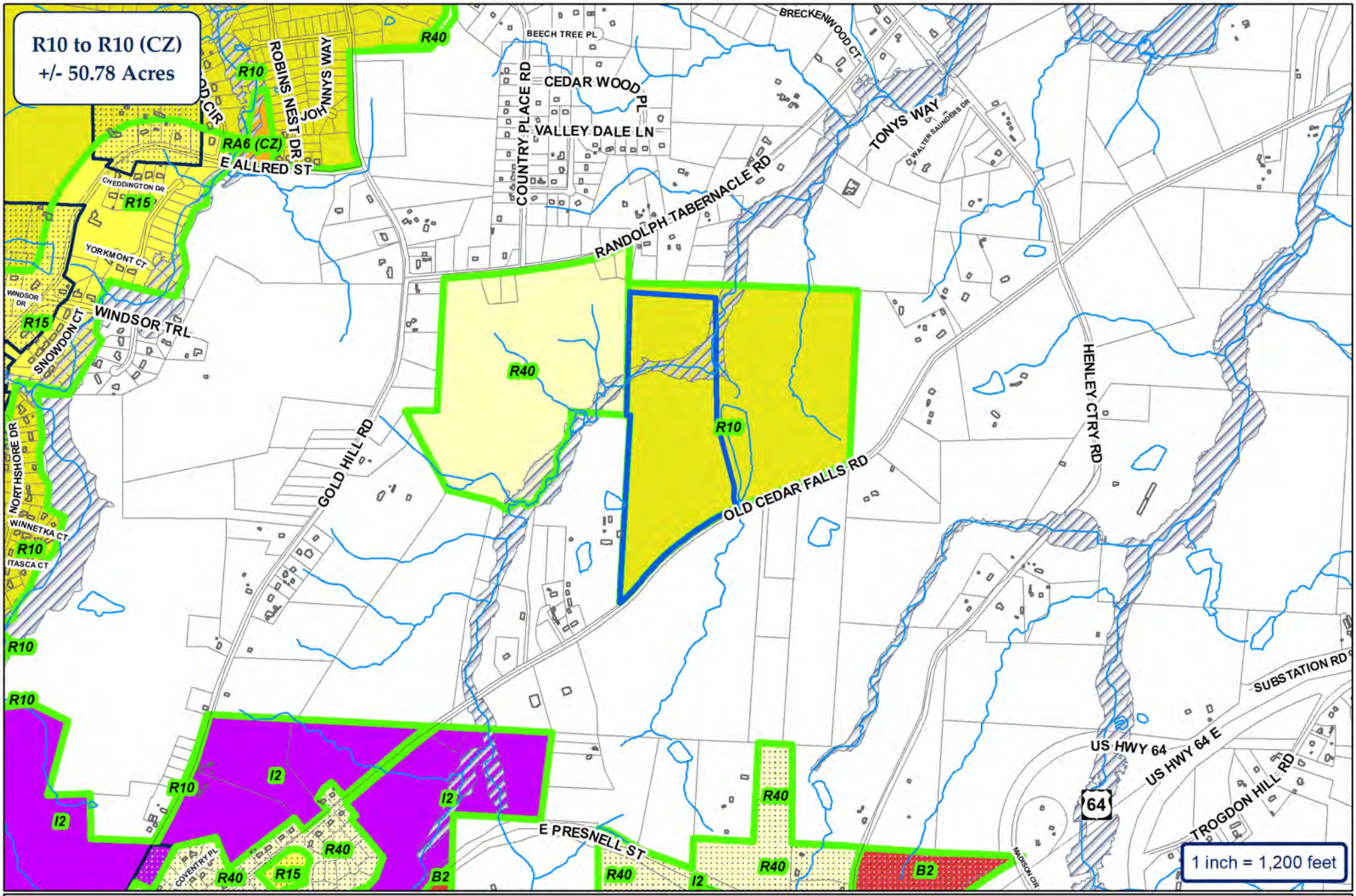
THOMAS ESTATES

2513 OLD CEDAR FALLS ROAD
ASHEBORO - RANDOLPH COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	FEB., 2022
Drawn By:	PBC
Checked By:	HMSJ
Job No.:	E-779A

Sheet No. C-13

P.E.-7794 Brian Thomas - Deer Farm Property - Duplex Development - 2513 Old Cedar Farm Rd, Asheboro, NC\DWG\Civil Site\E-7794 BASE 02-08-22.dwg
3/3/2022 12:05 PM, DWG To PDF.pc3



CITY OF ASHEBORO
NORTH CAROLINA
Exactly where you want to be.

ETJ

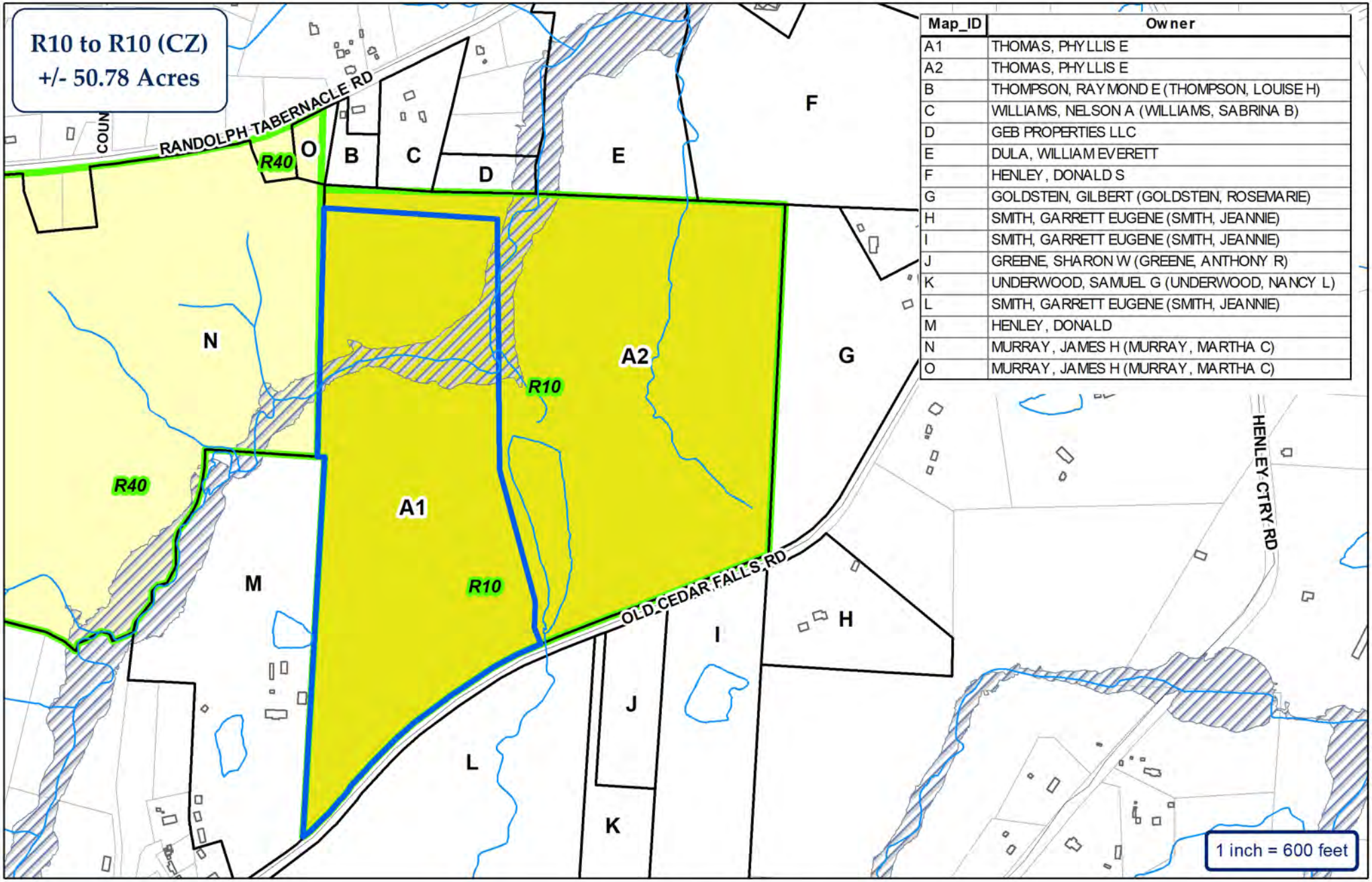
City of Asheboro Planning & Zoning Department

Rezoning Case: RZ-22-03

Parcel: 7772117810 (pt.)

Subject Property
Zoning

N
W
E
S



Map_ID	Owner
A1	THOMAS, PHYLLIS E
A2	THOMAS, PHYLLIS E
B	THOMPSON, RAYMOND E (THOMPSON, LOUISE H)
C	WILLIAMS, NELSON A (WILLIAMS, SABRINA B)
D	GEB PROPERTIES LLC
E	DULA, WILLIAM EVERETT
F	HENLEY, DONALD S
G	GOLDSTEIN, GILBERT (GOLDSTEIN, ROSEMARIE)
H	SMITH, GARRETT EUGENE (SMITH, JEANNIE)
I	SMITH, GARRETT EUGENE (SMITH, JEANNIE)
J	GREENE, SHARON W (GREENE, ANTHONY R)
K	UNDERWOOD, SAMUEL G (UNDERWOOD, NANCY L)
L	SMITH, GARRETT EUGENE (SMITH, JEANNIE)
M	HENLEY, DONALD
N	MURRAY, JAMES H (MURRAY, MARTHA C)
O	MURRAY, JAMES H (MURRAY, MARTHA C)

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NORTH CAROLINA
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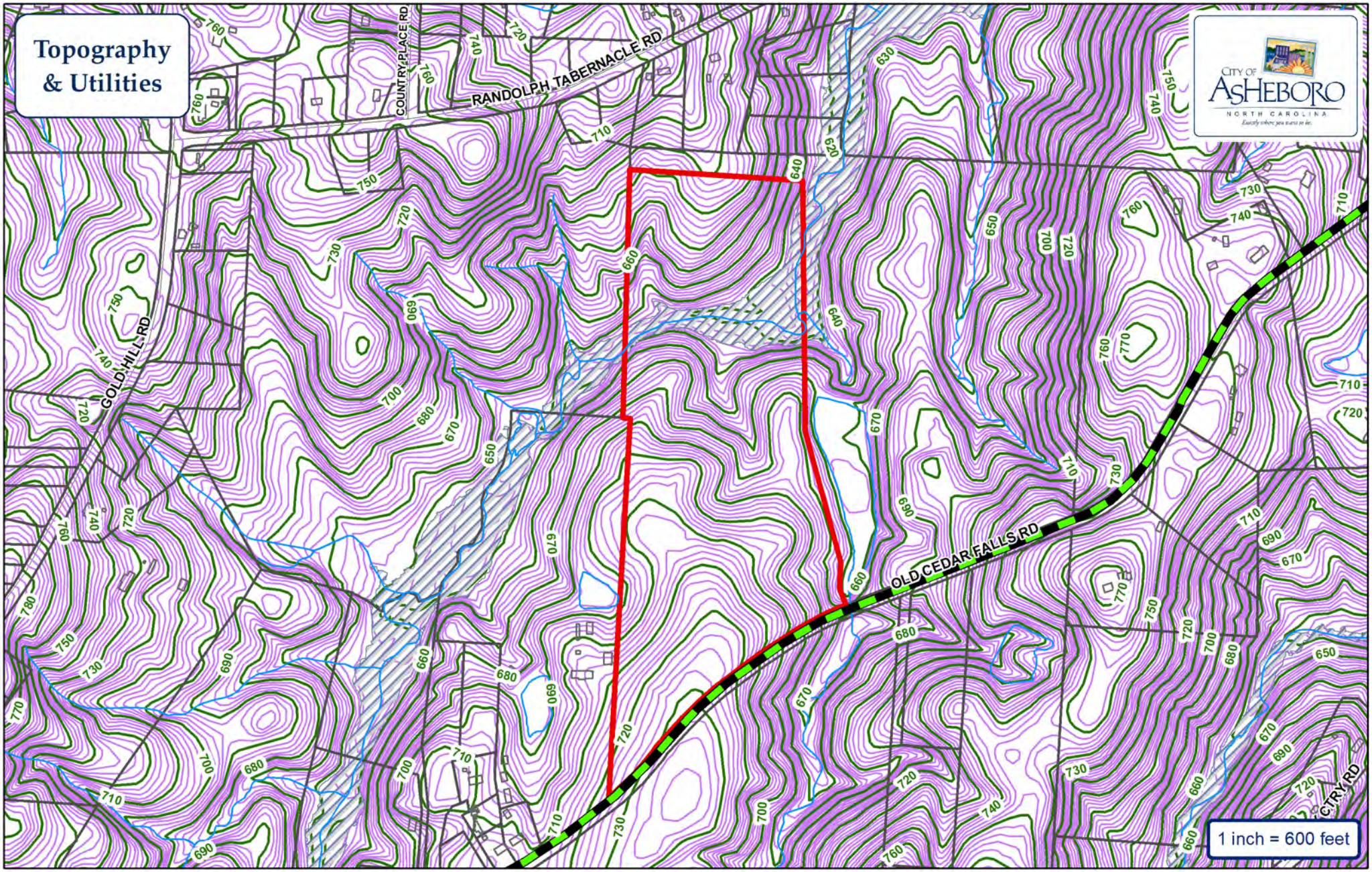
ETJ

City of Asheboro Planning & Zoning Department

Rezoning Case: RZ-22-03

Parcel: 7772117810 (pt.)



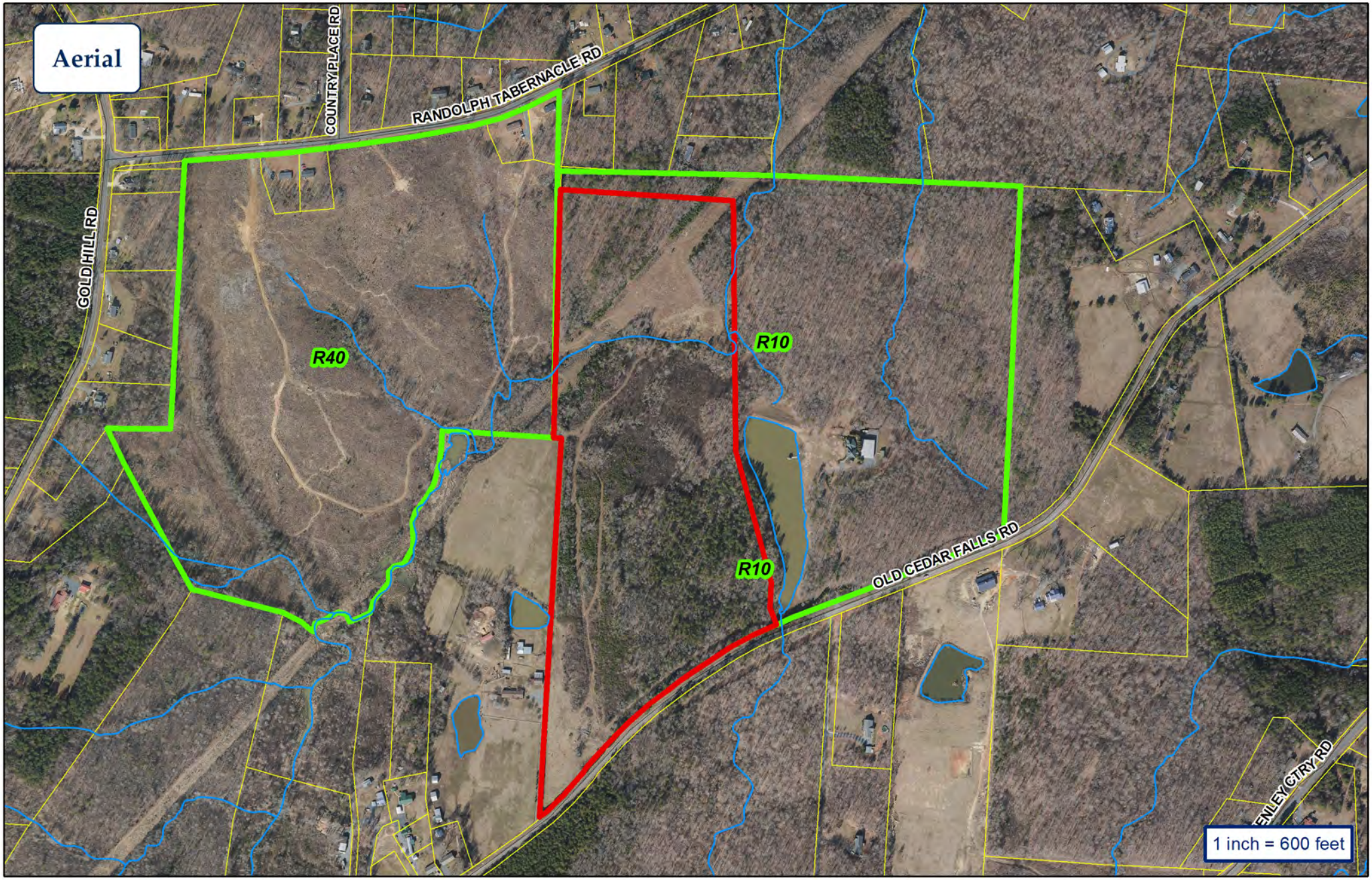
Water Main
Sewer Main
Force Main
Fire Hydrant
Pump Station
Watershed

City of Asheboro Planning & Zoning Department

Rezoning Case: RZ-22-03

Parcel: 7772117810 (pt.)

Subject Property



CITY OF ASHEBORO
NORTH CAROLINA
Exactly where you want to be.

City of Asheboro Planning & Zoning Department

Rezoning Case: RZ-22-03

Parcel: 7772117810 (pt.)

Subject Property
Zoning

N
W
E
S

CITY OF
ASHEBORO
PLANNING & ZONING

Application for Conditional Zoning District

APPLICATION FEE

A $550 filing fee is required.

APPLICATION INSTRUCTIONS:

The conditional zoning process can be complex. A Conditional Zoning District involves a proposal for a specific use that is customized to a particular property. In order to ensure compliance with application requirements, the applicant is **required** to have a pre-application conference with Planning and Zoning Department staff prior to submitting the application and paying the filing fee. Please contact staff at (336) 626-1201 ext. 225 to ensure application requirements are satisfied.

REQUIRED APPLICATION CONTENTS

1. **A pre-application conference with staff is required prior to the application being accepted. At this conference, staff and the applicant will discuss the rezoning request, the unique aspects of conditional zoning, the requirements for completing the review schedule, contact persons for services and permits, and information regarding site plans, landscaping, and other development requirements. This meeting must occur no more than sixty (60) days prior to the application filing deadline.**

2. A legal description/deed reference of such land.

3. Six (6) copies of a site plan drawn to scale to be submitted to the Planning Board. The Planning Board will review the proposal and forward a recommendation, including conditions for the zoning, to City Council. The month following the Planning Board meeting, City Council will review the proposed Conditional Zoning District application and site plan and may adopt, not adopt, or refer the application back to the Planning Board for review of any revisions made to the site plan subsequent to the initial submittal of the application materials.

4. Letter to be mailed by applicant notifying neighboring property owners of the request. Consistent with Section 160D-602(e) of the North Carolina General Statutes, the applicant shall notify neighboring property owners of the requested conditional zoning as well as the location, time, and date on which the Planning Board will hold a legislative hearing on the request. This notice must be in the form of a mailed notice provided in compliance with the guidance found in Section 160D-602(a) of the North Carolina General Statutes. During the legislative hearing, the applicant shall report to the Planning Board on the delivery of the required notice and any communication with neighboring property owners and residents concerning the requested conditional zoning.

146 N. Church St., Asheboro, NC 27203
Telephone: (336) 626-1201; Fax: (336) 626-1218; www.asheboronc.gov

APPLICATION DEADLINES AND MEETING DATES

The deadline for filing of applications for legislative hearings will be the day which is 55 days prior to the date of the City Council meeting for which the public hearing is to be set, provided that the deadline is no less than 17 days prior to the Planning Board's required legislative hearing; in these instances, the deadline will be 62 days prior to the date of the City Council meeting for which the public hearing is to be set.

If five (5) applications have been received prior to the cut-off date, the request will be heard the following month.

Application Deadline	*Planning Board Meeting*	*City Council Meeting*
December 17, 2021	Monday, January 3, 2022	Thursday, February 10, 2022
January 14, 2022	Monday, February 7, 2022	Thursday, March 10, 2022
February 11, 2022	Monday, March 7, 2022	Thursday, April 7, 2022
March 11, 2022	Monday, April 4, 2022	Thursday, May 5, 2022
April 15, 2022	Monday, May 2, 2022	Thursday, June 9, 2022
May 20, 2022	Monday, June 6, 2022	Thursday, July 14, 2022
June 10, 2022	Monday, July 11, 2022	Thursday, August 4, 2022
July 15, 2022	Monday, August 1, 2022	Thursday, September 8, 2022
August 12, 2022	Tuesday, September 6, 2022	Thursday, October 6, 2022
September 16, 2022	Monday, October 3, 2022	Thursday, November 10, 2022
October 14, 2022	Monday, November 7, 2022	Thursday, December 8, 2022
*November, 2022: Confirm application deadline with staff	Monday, December 5, 2022. Confirm meeting date with staff	*January, 2023: Confirm meeting date with staff

***January, 2023 Council meeting date is not set by Council until December, 2022.**

ITEMS TO BE SHOWN ON THE SITE PLAN:

The application for a Conditional Zoning District shall include a site plan, which must be drawn to scale, with supporting information and text that specifies the actual use or uses intended for the Zoning Lot and any rules, regulations, and conditions that, in addition to all predetermined Ordinance requirements, will govern the development and use of the Zoning Lot. The following information must be provided, if applicable:

1) The actual shape, location, dimensions, and total acreage of the Zoning Lot; its zoning classification; the general location of the Zoning Lot in relation to major streets, railroads, and/or waterways; a north arrow; and, if the Zoning Lot is not of record, sufficient data to locate the lot on the ground;

2) All existing rights-of-way, easements, and reservations;

3) In addition to providing the shape, size, and location of any structure(s) already located on the Zoning Lot, the site plan must show the shape, size, and location of all structures to be erected, altered, or moved on the Zoning Lot;

4) Building elevations of all exterior facades at a minimum scale of 1/8" = 1';

5) The existing and intended use(s) of the Zoning Lot, specifically including the number of residential units and the total square footage of any nonresidential development;

6) The location and size of all yards, buffers, screening, and landscaping, including by way of illustration and not limitation front yard and parking lot landscaping, required by the Ordinance's predetermined standards for the general zoning classification applicable to the Zoning Lot or as otherwise proposed by the applicant;

7) All existing and proposed points of access to public streets;

8) Proposed phasing, if any;

9) The location and type of screening used to screen mechanical equipment;

10) The location, access to, and screening of a central solid waste area;

11) Traffic, parking, and circulation plans, specifically including the location and dimensions of off-street parking areas and loading spaces;

12) The grade separation of structure(s) and parking areas;

13) The paving material for parking areas;

14) Curb cuts;

15) The compliance of the proposed development with the Ordinance's predetermined sign regulations;

16) The level of compliance of the land use(s) proposed for the Zoning Lot with the Ordinance's predetermined performance standards for the general zoning classification assigned to the Zoning Lot, including by way of illustration and not limitation performance standards pertaining to light, noise, and vibration;

17) If applicable, the location of any flood zones;

18) The location of existing and proposed storm drainage patterns and facilities intended to serve the proposed development;

19) If applicable, the location of the watershed;

20) When required by the Ordinance's predetermined specifications, sidewalks; and

21) Information addressing the applicable permitting requirements of other local governmental agencies as well as federal and state agencies, including by way of illustration and not

limitation, the North Carolina Department of Transportation and the North Carolina Department of Environmental Quality.

APPLICANT INFORMATION

Applicant Phyllis Thomas *Applicant's Phone #* 727-243-0887

Applicant's Address 2965 Upper Ridge Rd
Pinsburg PA 18073

Applicant email address T78352311@Aol.com

PROPERTY INFORMATION

Property Owner's Name Phyllis Thomas

Location of Property 2513 OLD Cedar Falls Rd Asheboro NC 27203 *Property Size (ac. or s.f.)* 50 Ac of 106.13

Randolph County Property Identification Number (PIN#) 7772117810

Current Zoning District R10 *Requested Zoning District* CU-R10

Date Property Title Acquired 4-17-2007 *Deed Book* 2021 *Page* 984

Subdivision N/A *Section* N/A *Lot #* N/A

Plat Book N/A *Page* N/A

CONDITIONAL ZONING DISTRICT INFORMATION (Attach additional sheets if necessary)

1. Application is hereby made to the City of Asheboro for a Conditional Zoning District for the following purpose:

The purpose of the CUP is to develop a 179 unit duplex project that is phased with associated driveways, parking & utilities. One single model will be constructed as a sales model.

2. In what manner will the proposed amendment carry out the intent of the Land Development Plan?

The project will comply with all land development codes + the land development plan to promote growth + welfare

For questions (3) and (4), if either of these questions apply, please state a reason. If you believe these do not apply, please check "does not apply".

3. Are there alleged errors in this Ordinance that would be corrected by the proposed amendment? If so, give a detailed explanation of such error and detailed reasons how the proposed amendment will correct the errors.

NO

Does not apply ☑

4. What are the changed or changing conditions, if any, in the jurisdiction of the City of Asheboro generally, which would make the proposed amendment reasonably necessary to the promotion of the public health, safety, and general welfare?

The approval of this project will provide needed housing, with the current shortage of adequate housing this project will provide homes for families in the City of Asheboro.

Does not apply ☐

5. Are there any other circumstances, factors, or reasons that the applicant offers in support of the proposed amendment?

This development will help meet the demands of much needed housing within the City of Asheboro

APPLICATION SIGNATURES

It is understood by the undersigned that while this application will be carefully reviewed and considered, the burden of proving the need for a Conditional Zoning District rests with the applicant.

No application for a Conditional Zoning District will be advertised for public hearing until the Planning and Zoning Department has received all required materials. If all required materials are not received prior to the specified deadlines, hearings for the case may be delayed.

Per Section 4.05 of the zoning ordinance, it is intended that property will be reclassified to a Conditional Zoning District only in the event of firm plans to develop the property. Accordingly, subject to any specific durational limits imposed by the ordinance applying conditional zoning to the Zoning Lot, if no action has been taken to obtain a Zoning Compliance Permit in conformance with the conditional zoning ordinance within 36 months of the City Council's approval of conditional zoning for the Zoning Lot, the Community Development Director or his or her designee shall initiate appropriate action to rezone the Zoning Lot to a general zoning classification that is consistent with the adopted comprehensive plan.

Applicant Signature

Printed Name of Authorized Signatory (if different from Applicant)

Brian Thomas

Position/Relationship of Authorized Signatory to Applicant

Son

Owner Signature (if different than Applicant)

Owner Address

2965 Upper Ridge Rd
Perkasburg Pa 18073

Telephone Number

727-243-0887

Printed Name of Authorized Signatory (if different from Owner)

Brian Thomas

Position/Relationship of Authorized Signatory to Owner

Son

STAFF USE

Received by: JE **Date:** 2-11-22 **Case Number:** R2-22-03

SUBDIVISION STAFF REPORT
Sketch Design

CASE # SUB-22-02 **Date** 3/7/2022 Planning Board

GENERAL INFORMATION

Subdivision Name	Thomas Estates
Requested Action	Subdivision Sketch Design for residential PUD
Applicant	Brian Thomas
Address	2513 Old Cedar Falls Road
Phone	727-243-0887
Location	West of 2513 Old Cedar Falls Road

PARCEL INFORMATION

PIN	7772117810 (portion)		
Size	50.87 acres +/-	**Number of Lots**	173
Existing Zoning	R10	**Average Lot Size**	Verification of information is pending
Existing Land Use	Undeveloped		

Surrounding Land Use

North	Low-Density Res./Agricultural	**East**	Low-Density Res./Agricultural
South	Low-Density Res./Agricultural	**West**	Low-Density Res./Agricultural

LAND DEVELOPMENT PLAN

Growth Strategy Map	Primary Growth
Proposed Land Use Map	Neighborhood Residential
Small Area Plan Map	East
Identified Activity Center?	No

Development Issues

1. The development proposes two entrances from Old Cedar Falls Road.
2. The application is showing four phases, with recreational amenities located within the first phase.
3. Streets and infrastructure within the development are proposed to be privately maintained.
4. The Subdivision Ordinance requires sidewalks connecting all units with mail facilities, recreation facilities, other amenities and public streets.

SUBDIVISION STAFF REPORT
Sketch Design

DEPARTMENT COMMENTS

Engineering	No comments have been offered at this time.
Public Works	This location does not currently have access to water and sewer. A utility plan is needed.
Planning	Plat corrections are pending.
Other	Fire Department: Second access is needed for emergency services and operations. Water Resources: Water and sewerage is not directly available and requires extension along Old Cedar Falls Road. Such extensions must be consistent with NCDOT and NCDEQ requirements and city policies. NCDOT: Roadway improvements including turning lanes will likely be required for the site. NCDOT recommended staking of proposed access location so that they can inspect issues such as sight distance prior to site design.
Staff Recommendation	Due to submittal of revised plans on March 3, 2022, staff continues to review these plans and additional information and a final recommendation is pending.
Planning Board Recommendation	